

Attachment B

Selected Drawings



Mary Street photomontage, image prepared by Doug & Wolf

New The Salvation Army Accommodation & Mixed Use Development

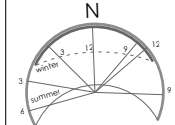
for The Salvation Army

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ARCHITECTS IN ASSOCIATION:

hill thalis
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McGregor Westlake Architecture



REV	DATE	AMENDMENT
A	6/12/2022	Issue for Coordination
B	13/12/2022	ISSUE FOR DEVELOPMENT APPLICATION

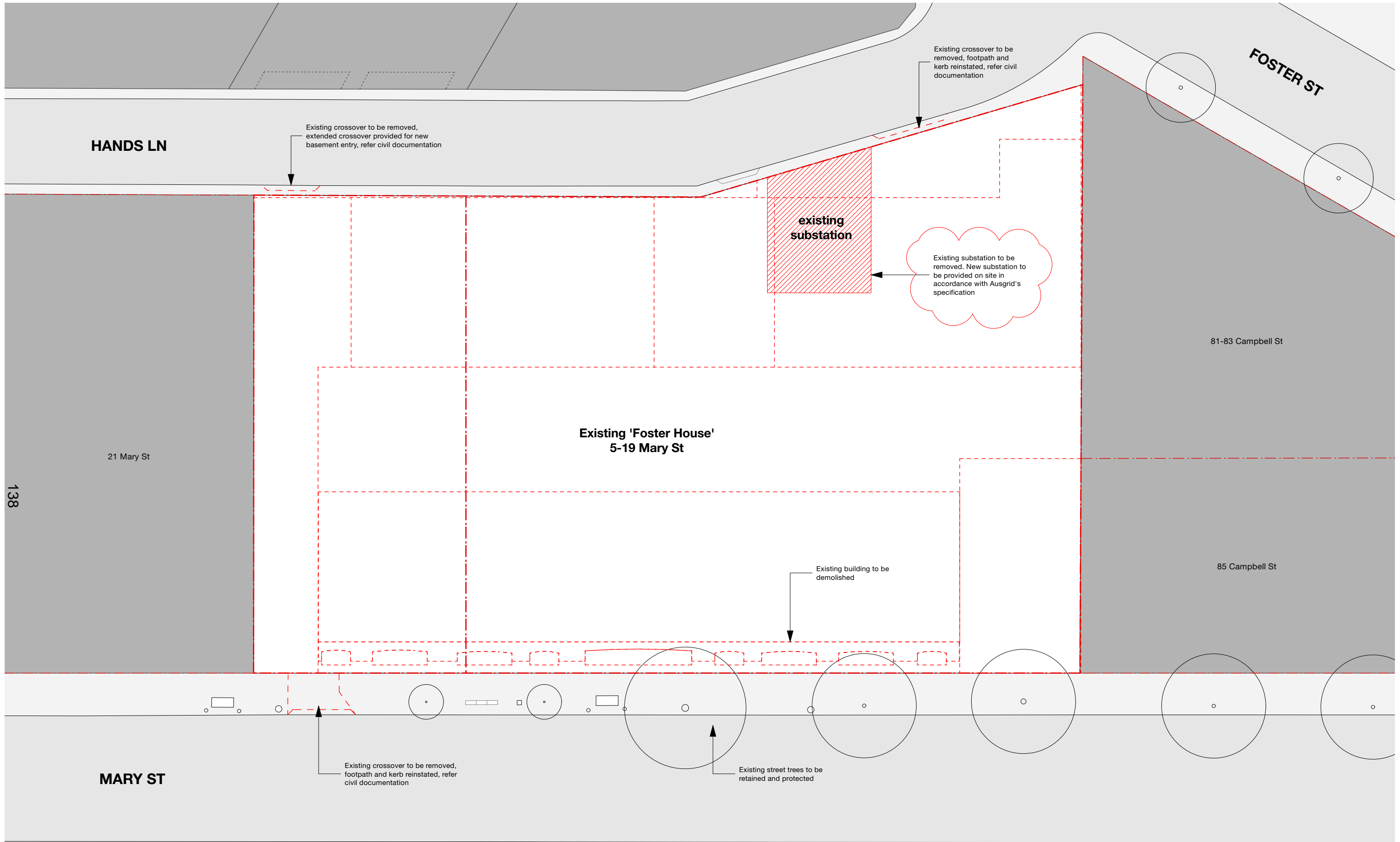
PROJECT
Foster House
5-19 Mary St, Surry Hills NSW 2010

CLIENT
The Salvation Army Australia Territory

DRAWING TITLE			
			Cover Page
JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/JK	1:500	1.001
DATE	CHECKED	PLOT DATE	REVISION
23/5/22	PT		B

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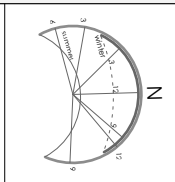
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Nominated Architects: Philip Traill #4760 Sarah Hill #5265

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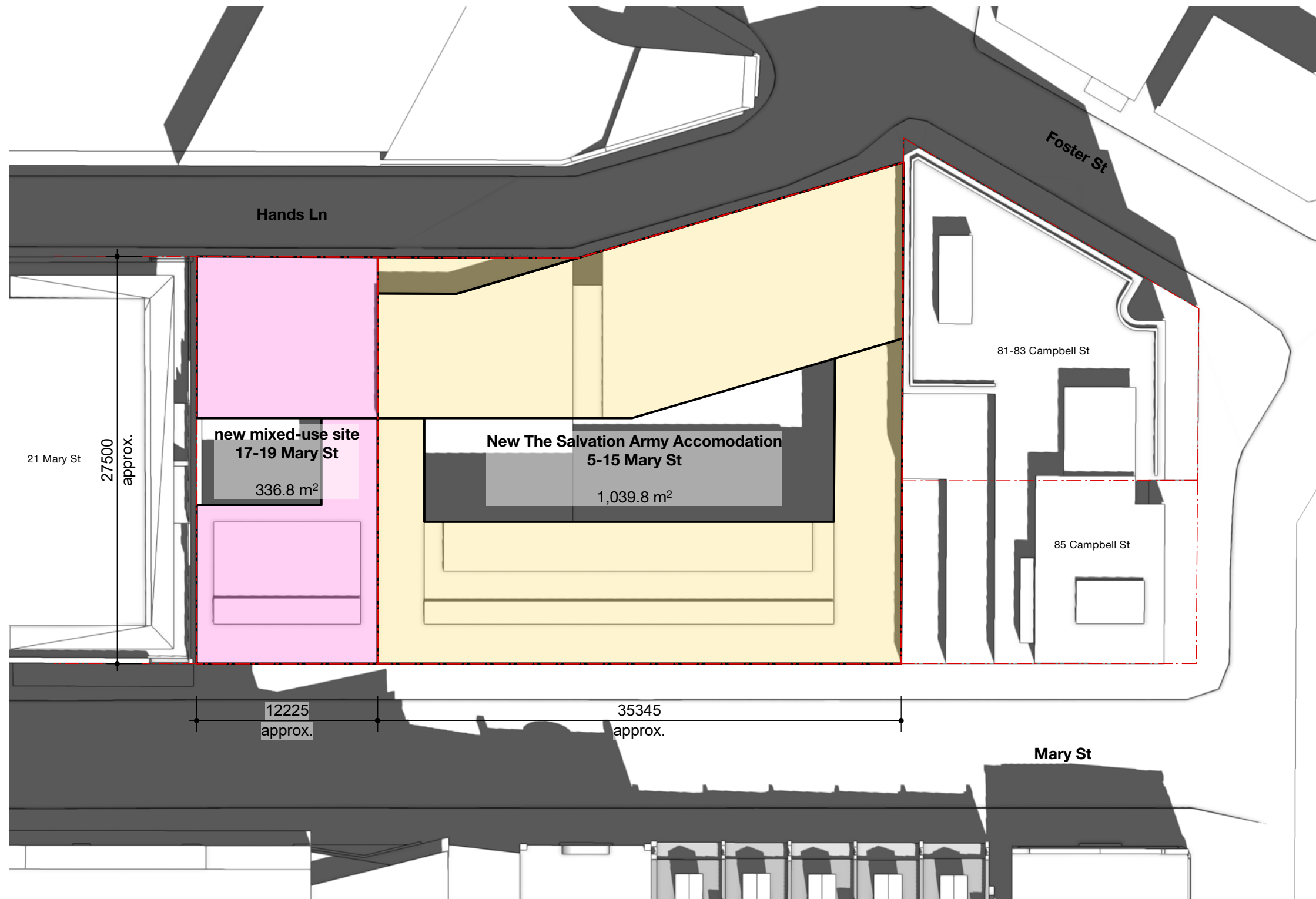


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B	13/12/2022	ISSUE FOR DEVELOPMENT APPLICATION
C	13/9/2023	REVISED ISSUE FOR DA

PROJECT	Foster House 5-19 Mary St, Surry Hills NSW 2010
CLIENT	The Salvation Army Australia Territory

DRAWING TITLE			
Demolition Plan			
JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/ JK	1:500	2.004
DATE	CHECKED	PLOT DATE	REVISION
22/6/22	PT		C

DRAWING TITLE			
Demolition Plan			
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DATE	CHECKED	PLOT DATE	REVISION
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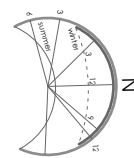


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PROJECT
Foster House
5-19 Mary St, Surry Hills NSW 2010

CLIENT
The Salvation Army Australia Territory

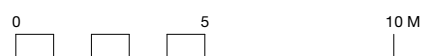
DRAWING TITLE			
Development Strategy			
JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/ JK	1:500	2.003
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22/6/22	PT		B

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Schedule of Amendments

1. Provide new substation per Ausgrid instruction, remove existing. New substation positioned to the south of 5-15, with driveway, pump room, waste rooms and end-of-trip repositioned accordingly
2. OSD removed from 5-15, water quality chamber provided to civil stormwater engineers detail. Balcony & stay-over unit above adjusted to accommodate access hatch as required.
3. Provide RL's at egress and entry points as requested, provide ledge at 5-15 entry to reduce downslope to door.
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9. Remove projection to Mary St for balcony of unit 112, adjust unit plan accordingly



ARCHITECTS IN ASSOCIATION: ARCHITECTURE + URBAN PROJECTS PTY LTD 		REV A B C D E F G	DATE 6/12/2022 8/12/2022 13/12/2022 11/7/2023 24/7/2023 4/8/2023 11/9/2023	AMENDMENT Issue for Coordination Issue for Information ISSUE FOR DEVELOPMENT APPLICATION Issue for Coordination Issue for Coordination Issue for Consultant Information REVISED ISSUE FOR DA	MATERIALS LEGEND AFD - Aluminium Framed Door AFW - Aluminium Framed Window AWN1 - Suspended Awning AWN2 - Projecting Awning BAL-1 - Finished Concrete Balustrade BAL-2 - Perforated Metal Balustrade BAL-3 - Metal Balustrade BRK-1 - Brick, Medium BRK-2 - Brick, Dark BRK-3 - Brick, Light BRK-4 - Glazed Brick CLD-1 - FC Cladding CLD-2 - FC spandrel GU - Gutter HR - Handrail LA - Landscaping LB - Letterboxes LV - Louvre Vent MF - Metal Fence MG - Metal Gate MRS - Metal Roof Sheeting PER - Pergola Shade Structure PFC - Steel Channel RC - Concrete Finish RD - Perforated Metal Panel Door RWT - Rainwater Tank SCR-01 - Perforated Screen SCR-02 - Acoustic Metal Screen SK - Skylight	PROJECT Foster House 5-19 Mary St, Surry Hills NSW 2010 CLIENT The Salvation Army Australia Territory	DRAWING TITLE Basement Plan <table border="1"> <tr> <td>JOB NO</td> <td>DRAWN</td> <td>SCALE</td> <td>DRAWING NO.</td> </tr> <tr> <td>22.19</td> <td>AR/ JK</td> <td>1:200</td> <td>2.100</td> </tr> <tr> <td>DATE</td> <td>CHECKED</td> <td>PLOT DATE</td> <td>REVISION</td> </tr> <tr> <td>22/6/22</td> <td>PT</td> <td></td> <td>G</td> </tr> </table>	JOB NO	DRAWN	SCALE	DRAWING NO.	22.19	AR/ JK	1:200	2.100	DATE	CHECKED	PLOT DATE	REVISION	22/6/22	PT		G
		JOB NO	DRAWN	SCALE	DRAWING NO.																		
22.19	AR/ JK	1:200	2.100																				
DATE	CHECKED	PLOT DATE	REVISION																				
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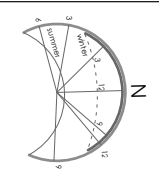
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B	8/12/2022	Issue for Information
C	13/12/2022	ISSUE FOR DEVELOPMENT APPLICATION
D	11/7/2023	Issue for Coordination
E	24/7/2023	Issue for Coordination
F	4/8/2023	Issue for Consultant Information
G	11/9/2023	REVISED ISSUE FOR DA

MATERIALS LEGEND

AFD - Aluminium Framed Door	CLD-1 - FC Cladding	FFC - Steel Channel
AFW - Aluminium Framed Window	CLD-2 - FC Spandrel	RC - Concrete Finish
AWN1 - Suspended Awning	GU - Gutter	RD - Perforated Metal Panel Door
AWN2 - Projecting Awning	HR - Handrail	RWT - Rainwater Tank
BAL-1 - Finished Concrete Balustrade	LA - Landscaping	SCR-01 - Perforated Screen
BAL-2 - Perforated Metal Balustrade	LB - Letterboxes	SCR-02 - Acoustic Metal Screen
BAL-3 - Metal Balustrade	LV - Louvre Vent	SK - Skylight
BRK-1 - Brick, Medium	MF - Metal Fence	
BRK-2 - Brick, Dark	MG - Metal Gate	
BRK-3 - Brick, Light	MRS - Metal Roof Sheeting	
BRK-4 - Glazed Brick	PER - Pergola Shade Structure	

PROJECT

Foster House
5-19 Mary St, Surry Hills NSW 2010

CLIENT
The Salvation Army Australia Territory

DRAWING TITLE

Ground Floor Plan

JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/ JK	1:200	2.101
DATE	CHECKED	PLOT DATE	REVISION
22/6/22	PT		G



Schedule of Amendments

1. Provide new substation per Ausgrid instruction, remove existing. New substation positioned to the south of 5-15, with driveway, pump room, waste rooms and end-of-trip repositioned accordingly
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9. Remove projection to Mary St for balcony of unit 112, adjust unit plan accordingly

	Designated Co-Living Rooms
	2B Units
	1B Units
	Studio Units

ARCHITECTS IN ASSOCIATION: 		REV	DATE	AMENDMENT	MATERIALS LEGEND AFD - Aluminium Framed Door AFW - Aluminium Framed Window AWN1 - Suspended Awning AWN2 - Projecting Awning BAL-1 - Finished Concrete Balustrade BAL-2 - Perforated Metal Balustrade BAL-3 - Metal Balustrade BRK-1 - Brick, Medium BRK-2 - Brick, Dark BRK-3 - Brick, Light BRK-4 - Glazed Brick CLD-1 - FC Cladding CLD-2 - FC Spandrel GU - Gutter HR - Handrail RWT - Rainwater Tank SCR-01 - Perforated Screen SCR-02 - Acoustic Metal Screen SK - Skylight PFC - Steel Channel EC - Concrete Finish RD - Perforated Metal Panel Door LA - Landscaping LB - Letterboxes LV - Louvre Vent MF - Metal Fence MG - Metal Gate MRS - Metal Roof Sheeting PER - Pergola Shade Structure	PROJECT	DRAWING TITLE				
		LEVELS: 68-72 Wentworth Ave Surry Hills NSW 2010 Australia T 02 9211 4274 F 02 9211 3171 E info@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalis #4380 Sarah Hill #5285	- Use figured dimensions only - Do not scale - Comply with the Building Code of Australia - Comply with the relevant Australian Standards - Comply with relevant Authorities' requirements	6/12/2022 Issue for Coordination 8/12/2022 Issue for Information 13/12/2022 ISSUE FOR DEVELOPMENT APPLICATION 11/9/2023 REVISED ISSUE FOR DA		Foster House 5-19 Mary St, Surry Hills NSW 2010	Level 1 Floor Plan				
CLIENT	The Salvation Army Australia Territory			JOB NO	22.19	DRAWN	AR/JK	SCALE	1:200	DRAWING NO.	2.102
DATE	24/5/22	CHECKED	PT	PLOT DATE		REVISION					D



Schedule of Amendments

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■	Designated Co-Living Rooms
■	2B Units
■	1B Units
■	Studio Units

ARCHITECTS IN ASSOCIATION:

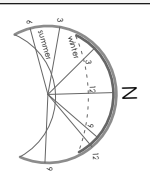
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MATERIALS LEGEND

AFD - Aluminium Framed Door	CLD-1 - FC Cladding	FFC - Steel Channel
AFW - Aluminium Framed Window	CLD-2 - FC Spandrel	RC - Concrete Finish
AWN1 - Suspended Awning	GU - Gutter	RD - Perforated Metal Panel Door
AWN2 - Projecting Awning	HR - Handrail	RWT - Rainwater Tank
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BAL-2 - Perforated Metal Balustrade	LB - Letterboxes	SCR-02 - Acoustic Metal Screen
BAL-3 - Metal Balustrade	LV - Louvre Vent	SK - Skylight
BRK-1 - Brick, Medium	MF - Metal Fence	
BRK-2 - Brick, Dark	MG - Metal Gate	
BRK-3 - Brick, Light	MRS - Metal Roof Sheeting	
BRK-4 - Glazed Brick	PER - Pergola Shade Structure	

PROJECT
Foster House 5-19 Mary St, Surry Hills NSW 2010
CLIENT
The Salvation Army Australia Territory

DRAWING TITLE			
Level 2 Floor Plan			
JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/JK	1:200	2.103
DATE	CHECKED	PLOT DATE	REVISION
24/5/22	PT		D



- ### Schedule of Amendments
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	Designated Co-Living Rooms
	2B Units
	1B Units
	Studio Units

ARCHITECTS IN ASSOCIATION:

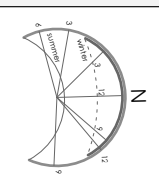
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BRK-4 - Glazed Brick	PER - Pergola Shade Structure	

PROJECT

Foster House
5-19 Mary St, Surry Hills NSW 2010

CLIENT
The Salvation Army Australia Territory

DRAWING TITLE

Level 3 Floor Plan

JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/JK	1:200	2.104
DATE	CHECKED	PLOT DATE	REVISION
24/5/22	PT		D



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Designated Co-Living Rooms
 2B Units
 1B Units
 Studio Units

ARCHITECTS IN ASSOCIATION:

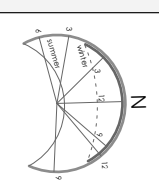
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BRK-4 - Glazed Brick	PER - Pergola Shade Structure	

PROJECT

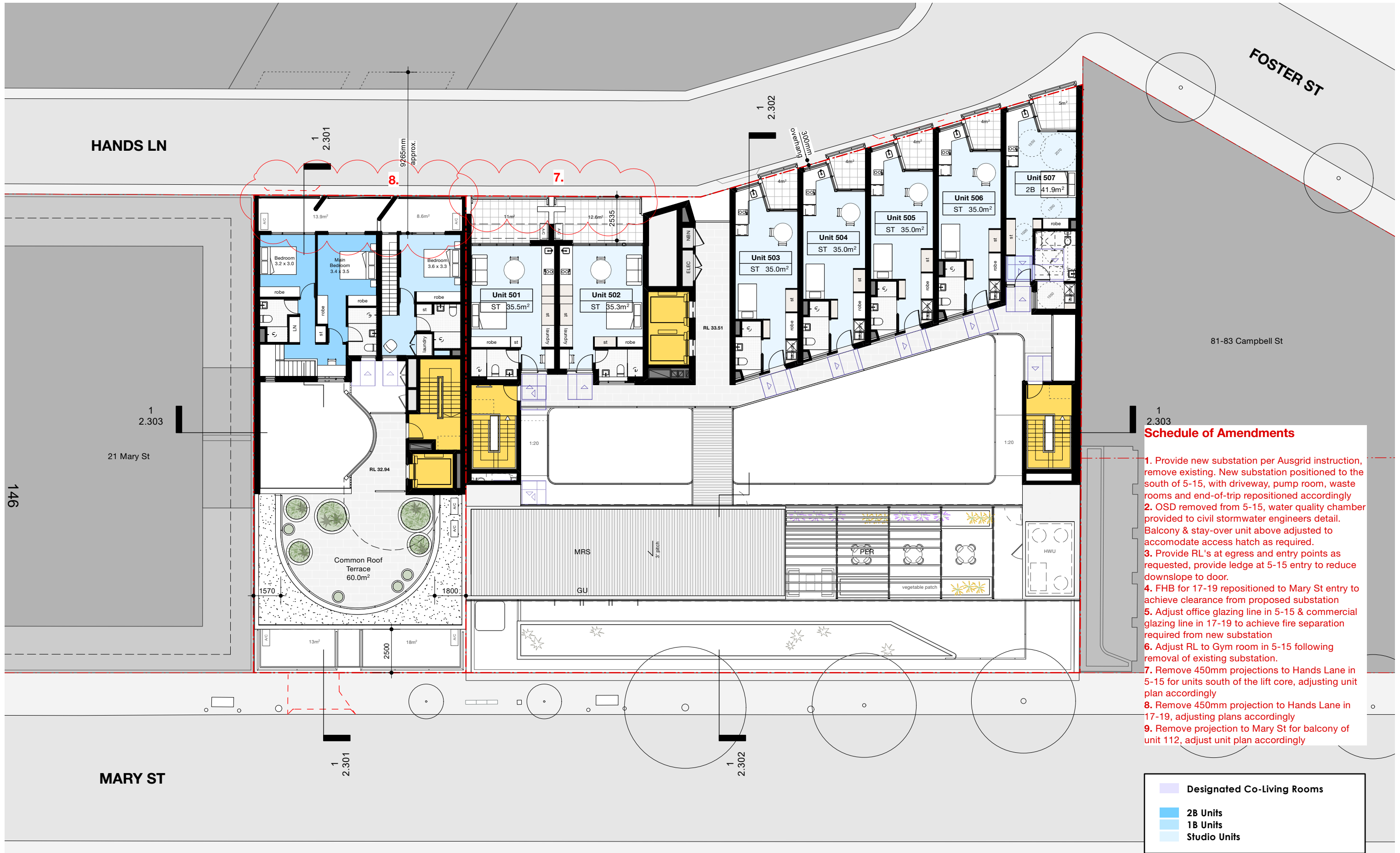
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5-19 Mary St, Surry Hills NSW 2010

CLIENT
The Salvation Army Australia Territory

DRAWING TITLE

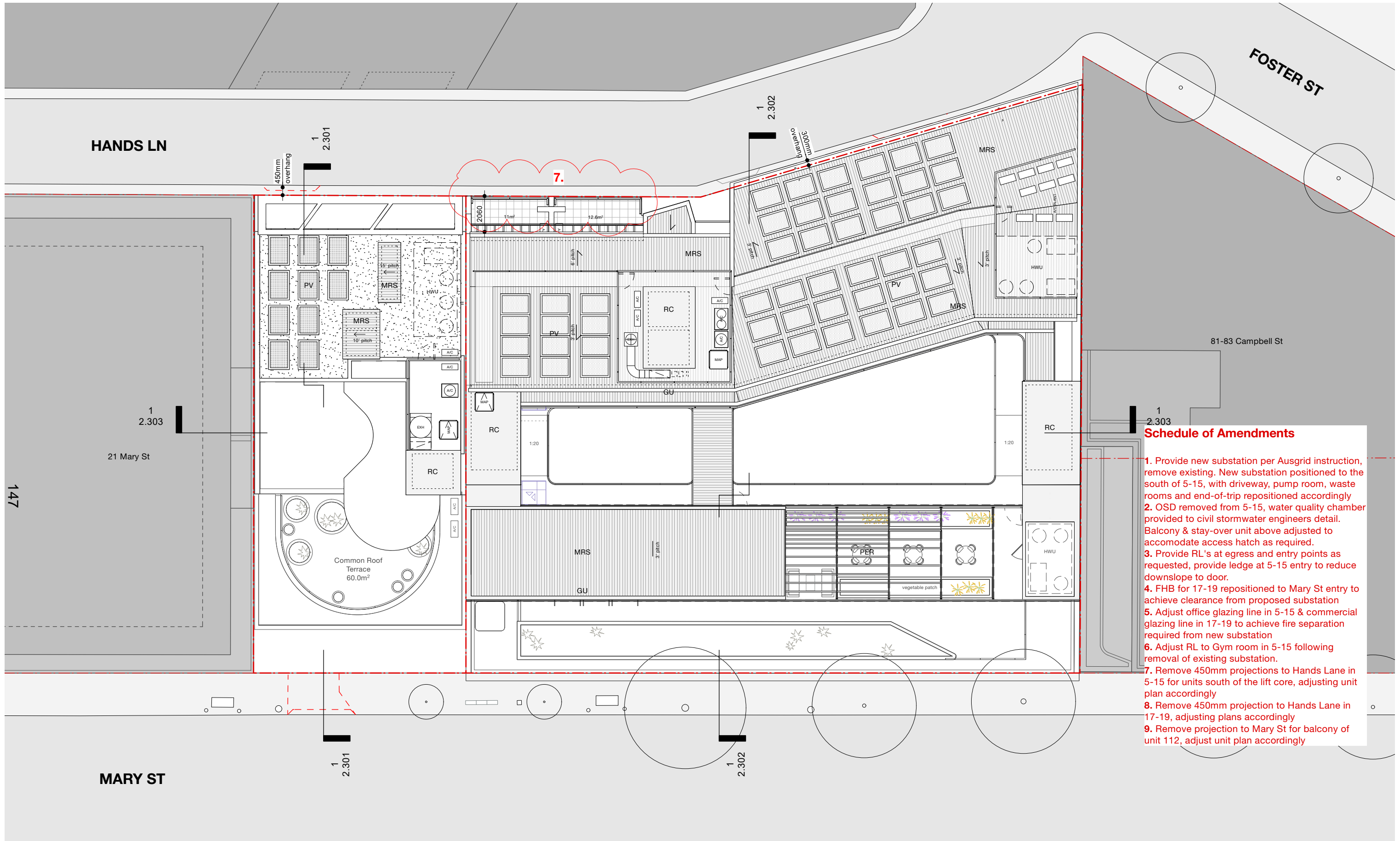
Level 4 Floor Plan

JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/JK	1:200	2.105
DATE	CHECKED	PLOT DATE	REVISION
24/5/22	PT		D



- Schedule of Amendments**
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 9. Remove projection to Mary St for balcony of unit 112, adjust unit plan accordingly

ARCHITECTS IN ASSOCIATION: hill thalis ARCHITECTURE + URBAN PROJECTS PTY LTD <small>LEVELS: 68-72 Wentworth Ave Surry Hills NSW 2010 Australia T 02 9211 4274 F 02 9211 3171 E admin@hillthalis.com.au www.hillthalis.com.au Hill Thalis Architects: Philip Thalis #4380 Sarah Hill #5285</small>		REV A DATE 6/12/2022 AMENDMENT Issue for Coordination	REV B DATE 8/12/2022 AMENDMENT Issue for Information	REV C DATE 13/12/2022 AMENDMENT ISSUE FOR DEVELOPMENT APPLICATION	REV D DATE 11/9/2023 AMENDMENT REVISED ISSUE FOR DA	MATERIALS LEGEND AFD - Aluminium Framed Door AFW - Aluminium Framed Window AWN1 - Suspended Awning AWN2 - Projecting Awning BAL-1 - Finished Concrete Balustrade BAL-2 - Perforated Metal Balustrade BAL-3 - Metal Balustrade BRK-1 - Brick, Medium BRK-2 - Brick, Dark BRK-3 - Brick, Light BRK-4 - Glazed Brick CLD-1 - FC Cladding CLD-2 - FC Spandrel GU - Gutter HR - Handrail LA - Landscaping LB - Letterboxes LV - Louvre Vent MF - Metal Fence MG - Metal Gate MRS - Metal Roof Sheeting PER - Pergola Shade Structure PFC - Steel Channel RC - Concrete Finish RD - Perforated Metal Panel Door RWT - Rainwater Tank SCR-01 - Perforated Screen SCR-02 - Acoustic Metal Screen SK - Skylight	PROJECT Foster House 5-19 Mary St, Surry Hills NSW 2010 CLIENT The Salvation Army Australia Territory	DRAWING TITLE Upper Floor Plan (L5) JOB NO 22.19 DRAWN AR/JK SCALE 1:200 DRAWING NO. 2.106 DATE 24/5/22 CHECKED PT PLOT DATE REVISION D
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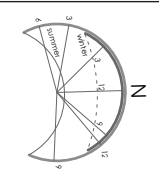
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ARCHITECTS IN ASSOCIATION:
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 Hill Thalis Architects: Philip Thalis #4380 Sarah Hill #5285



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 Comply with the relevant Australian Standards
 Comply with relevant Authorities' requirements



REV	DATE	AMENDMENT
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C	13/12/2022	ISSUE FOR DEVELOPMENT APPLICATION
D	11/9/2023	REVISED ISSUE FOR DA

MATERIALS LEGEND	
AFD - Aluminium Framed Door	CLD-1 - FC Cladding
AFW - Aluminium Framed Window	CLD-2 - FC spandrel
AWN1 - Suspended Awning	GU - Gutter
AWN2 - Projecting Awning	HR - Handrail
BAL-1 - Finished Concrete Balustrade	LA - Landscaping
BAL-2 - Perforated Metal Balustrade	LB - Letterboxes
BAL-3 - Metal Balustrade	LV - Louvre Vent
BRK-1 - Brick, Medium	MF - Metal Fence
BRK-2 - Brick, Dark	MG - Metal Gate
BRK-3 - Brick, Light	MRS - Metal Roof Sheeting
BRK-4 - Glazed Brick	PER - Pergola Shade Structure
	FFC - Steel Channel
	RC - Concrete Finish
	RD - Perforated Metal Panel Door
	RWT - Rainwater Tank
	SCR-01 - Perforated Screen
	SCR-02 - Acoustic Metal Screen
	SK - Skylight

PROJECT
Foster House 5-19 Mary St, Surry Hills NSW 2010
CLIENT
The Salvation Army Australia Territory

DRAWING TITLE			
			Roof Plan
JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/JK	1:200	2.107
DATE	CHECKED	PLOT DATE	REVISION
24/5/22	PT		D

35m Height measured from existing Basement Level

25m Height measured from existing Basement Level

Outline of existing building to be demolished

148

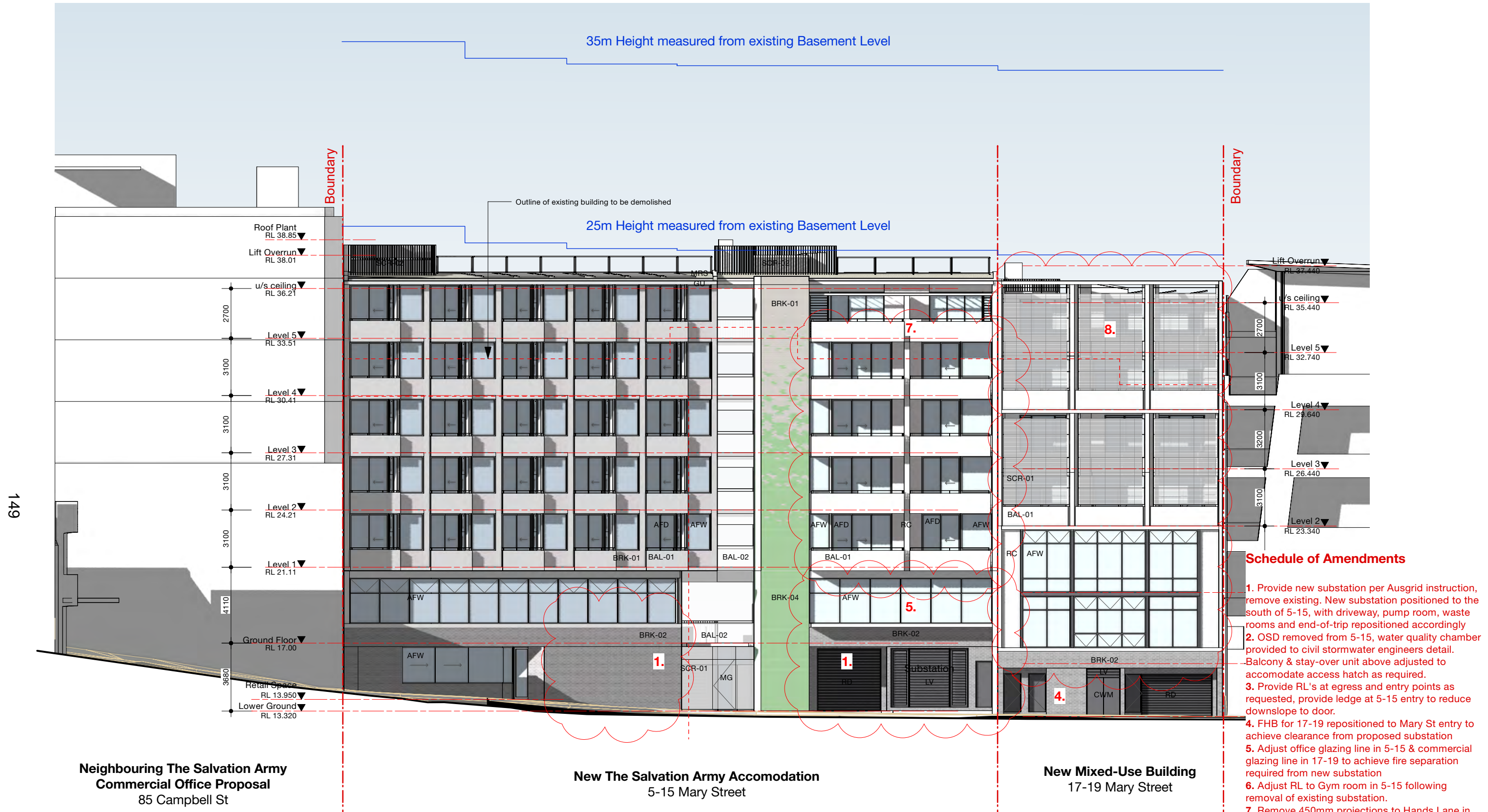


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1 **Mary St - Elevation**
Scale: 1:200

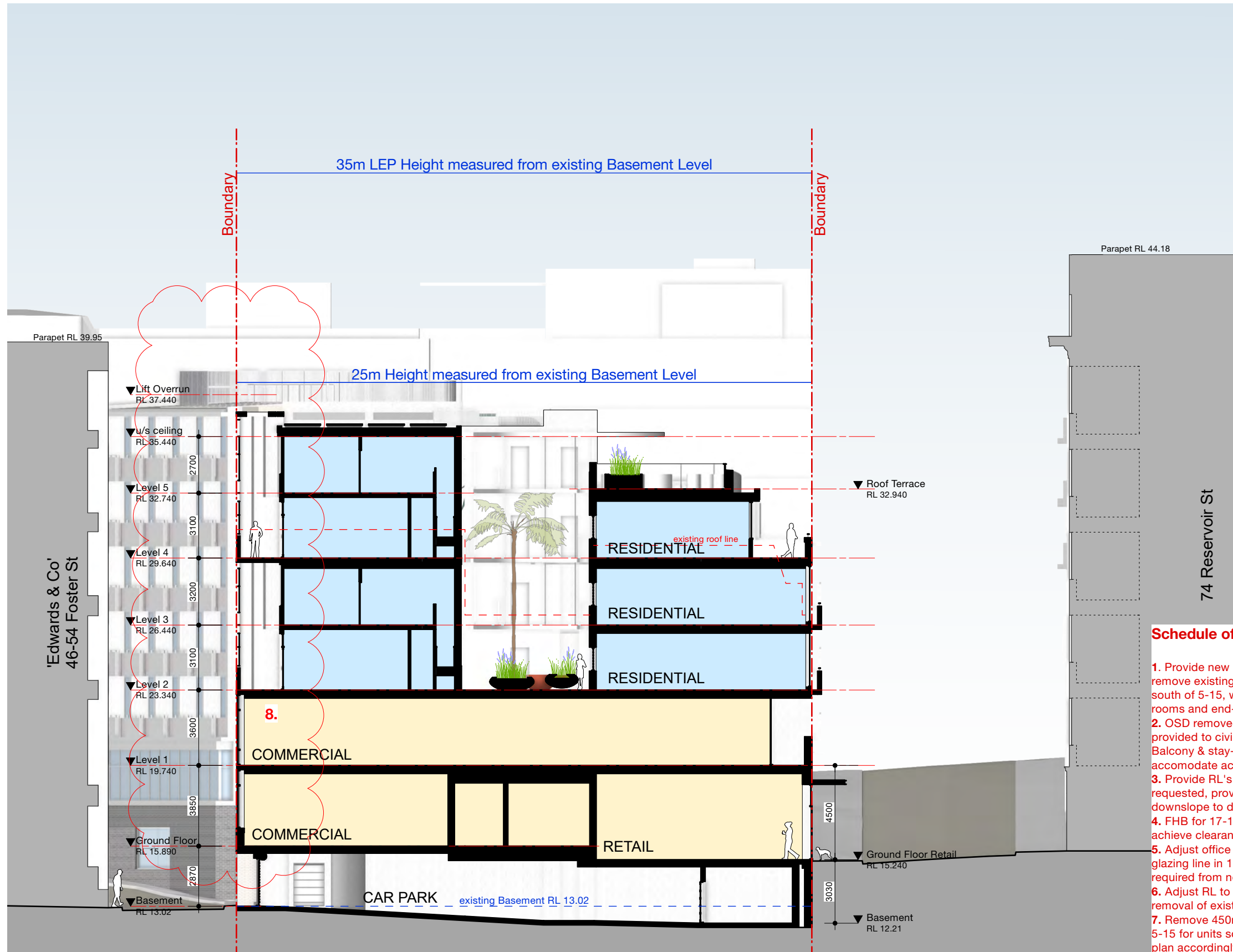
ARCHITECTS IN ASSOCIATION: hill thalis ARCHITECTURE + URBAN PROJECTS PTY LTD <small>LEVEL 5, 68-72 Wentworth Ave Surry Hills, NSW 2010 Australia T 02 9231 4214 F 02 9281 3173 E admin@hillthalis.com.au www.hillthalis.com.au Hill Thalis Architects: Philip Thalis #1360 Sarah Hill #5285</small> © Copyright in all documents and drawings prepared by Hill Thalis and McGregor Westlake in any work executed from those documents and drawings shall remain the property of Hill Thalis or on creation vest in Hill Thalis	Use figured dimensions only Do not scale Comply with the Building Code of Australia Comply with the relevant Australian Standards Comply with relevant Authorities' requirements	REV A DATE 6/12/2022 AMENDMENT Issue for Coordination	REV B DATE 8/12/2022 AMENDMENT Issue for information	REV C DATE 13/12/2022 AMENDMENT ISSUE FOR DEVELOPMENT APPLICATION	REV D DATE 11/9/2023 AMENDMENT REVISED ISSUE FOR DA	MATERIALS LEGEND AFD - Aluminium Framed Door AFW - Aluminium Framed Window AWN1 - Suspended Awning AWN2 - Projecting Awning BAL-1 - Finished Concrete Balustrade BAL-2 - Perforated Metal Balustrade BAL-3 - Metal Balustrade BRK-1 - Brick, Medium BRK-2 - Brick, Dark BRK-3 - Brick, Light BRK-4 - Glazed Brick CLD-1 - FC Cladding CLD-2 - FC Spandrel GU - Gutter HR - Handrail LA - Landscaping LB - Letterboxes LV - Louvre Vent MF - Metal Fence MG - Metal Gate MRS - Metal Roof Sheeting PER - Pergola Shade Structure PFC - Steel Channel RC - Concrete Finish RD - Perforated Metal Panel Door RWT - Rainwater Tank SCR-01 - Perforated Screen SCR-02 - Acoustic Metal Screen SK - Skylight	PROJECT Foster House 5-19 Mary St, Surry Hills NSW 2010 CLIENT The Salvation Army Australia Territory	DRAWING TITLE Mary St Elevation (East) JOB NO 22.19 DRAWN AR/JK SCALE 1:200 DRAWING NO. 2.201 DATE 23/5/22 CHECKED PT PLOT DATE REVISION D
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1 Hands Lane - Elevation
Scale: 1:200

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LEVEL 5, 68-72 Wentworth Ave Surry Hills, NSW 2010 Australia T 02 9214 4274, F 02 9281 3171 E admin@hillthalis.com.au, www.hillthalis.com.au Hill Thalis is a registered architect in NSW, ACT, VIC, QLD, WA, SA, NT, TAS, NZ, and the UK.	Use figured dimensions only Do not scale Comply with the Building Code of Australia Comply with the relevant Australian Standards Comply with relevant Authorities' requirements	© Copyright in all documents and drawings prepared by Hill Thalis and McGregor Westlake in any work excluded from those documents and drawings shall remain the property of Hill Thalis or on creation vest in Hill Thalis																				



HANDS LANE

New Mixed-Use Building
17-19 Mary Street

MARY STREET

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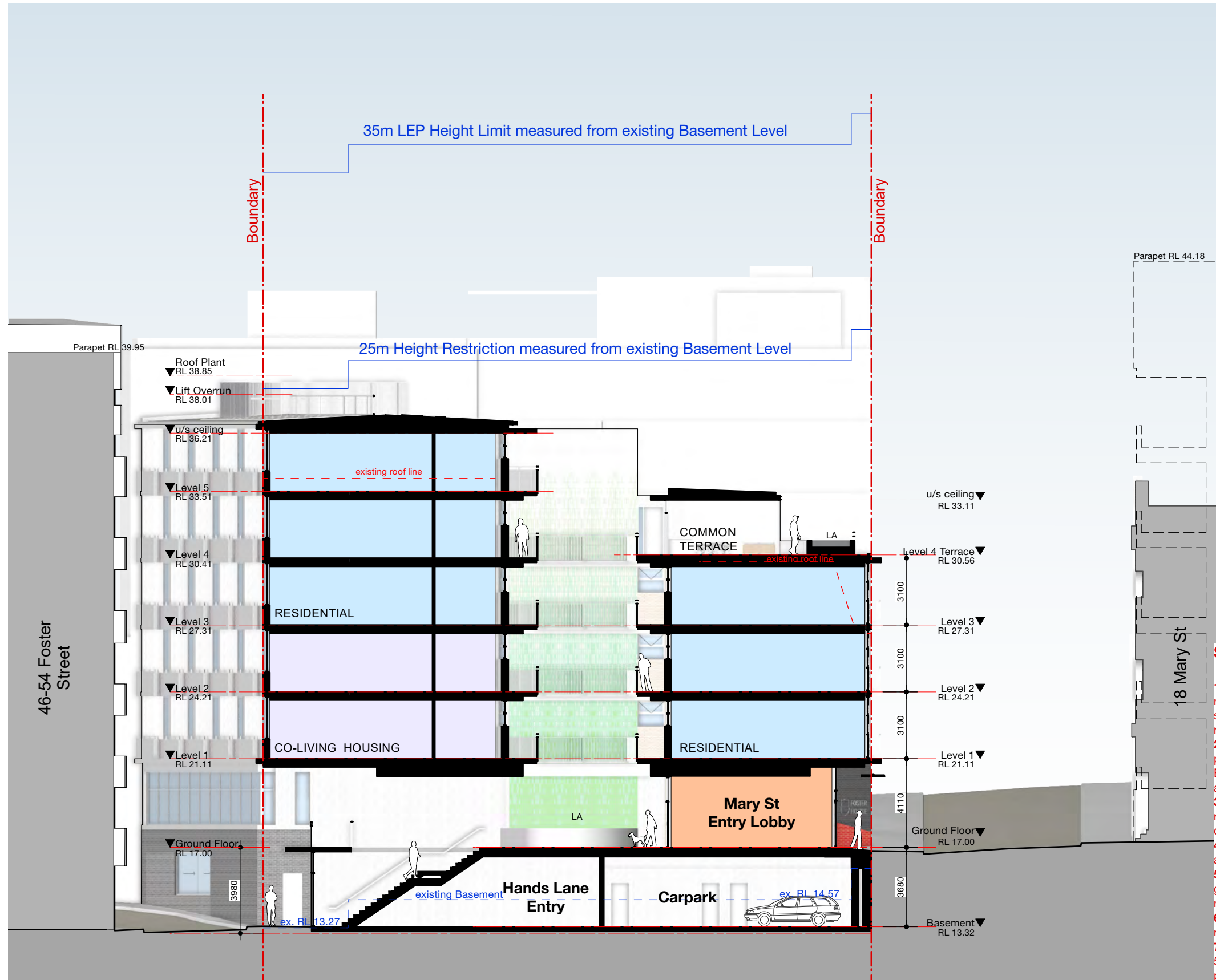
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BRK-4 - Glazed Brick	PER - Pergola Shade Structure	

PROJECT	
Foster House	
5-19 Mary St, Surry Hills NSW 2010	
CLIENT	
The Salvation Army Australia Territory	

DRAWING TITLE			
Section A - East West 17-19			
JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/JK	1:200	2.301
DATE	CHECKED	PLOT DATE	REVISION
23/5/22	PT		D



HANDS LANE

The Salvation Army Homelessness Services
5-15 Mary Street

MARY STREET

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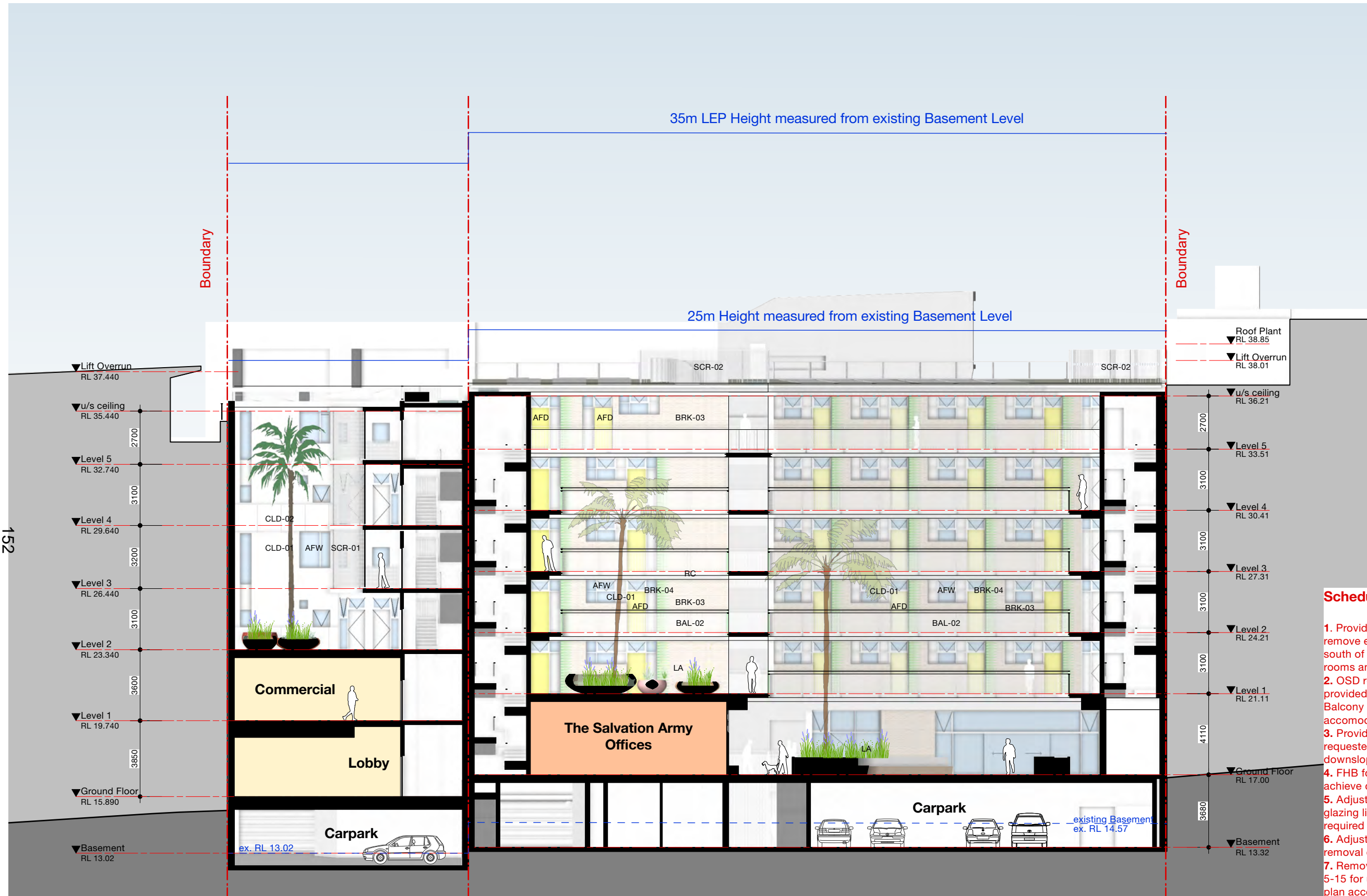
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BRK-2 - Brick, Dark	MG - Metal Gate	
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BRK-4 - Glazed Brick	PER - Pergola Shade Structure	

PROJECT	
Foster House	
5-19 Mary St, Surry Hills NSW 2010	
CLIENT	
The Salvation Army Australia Territory	

DRAWING TITLE			
Section B - East West 5-15			
JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/JK	1:200	2.302
DATE	CHECKED	PLOT DATE	REVISION
23/5/22	PT		D



New Mixed-Use Building
17-19 Mary Street

New The Salvation Army Accommodation
5-15 Mary Street

Neighbouring The Salvation Army Commercial Office Proposal
85 Campbell St

Schedule of Amendments

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McGregor Westlake Architecture

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PROJECT
Foster House 5-19 Mary St, Surry Hills NSW 2010
CLIENT
The Salvation Army Australia Territory

DRAWING TITLE			
Section C - North South (Courtyard)			
JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/JK	1:200	2.303
DATE	CHECKED	PLOT DATE	REVISION
23/5/22	PT		D

Existing Site - 'Foster House'

5-19 Mary St

Site Area	1,376.6 m ²
FSR Control	5.0:1
GFA max	6,883 m ²
Height Control	35m

Proposed Salvation Army Accomodation

5 - 15 Mary St

Site Area	1,039.8 m ²
Proposed GFA	3,029.4 m ²
FSR	2.91:1

Proposed Accom. Mix

1 bed studio	19 (38%)
co-living studio	18 (36%)
Total	50 (26%)

New Mixed-Use Subdivided Site

7-19 Mary St

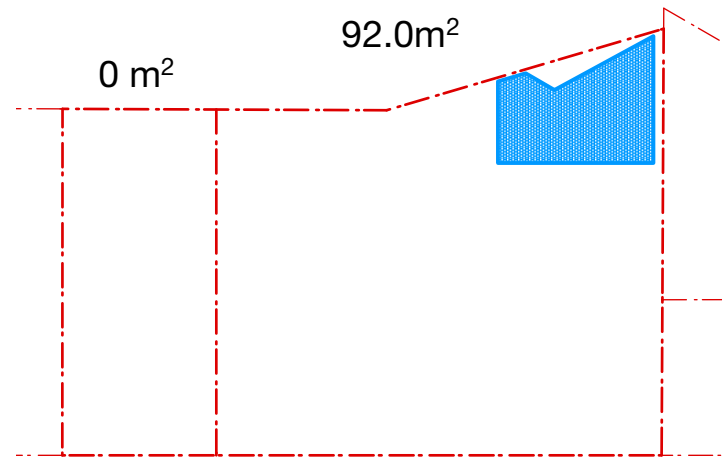
Site Area	336.8 m ²
Proposed GFA	1,117.6 m ²
FSR	3.32:1

Proposed Dwelling Mix

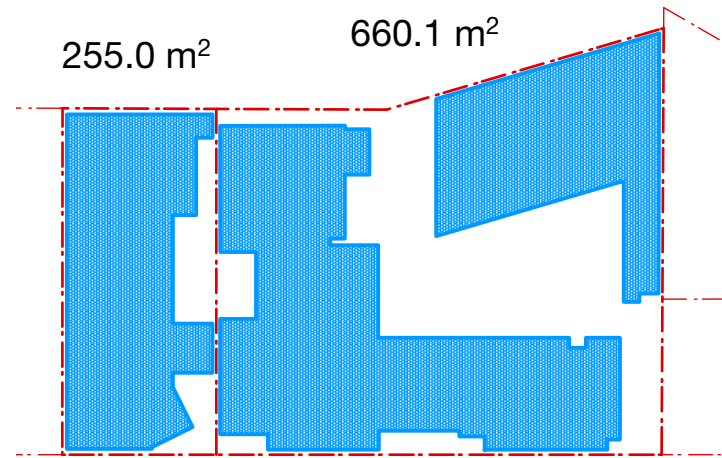
2 bed - loft	2 (20%)
1 bed - loft	2 (20%)
1 bed	2 (20%)
Studio	4 (40%)
Total	10

Combined Calculation

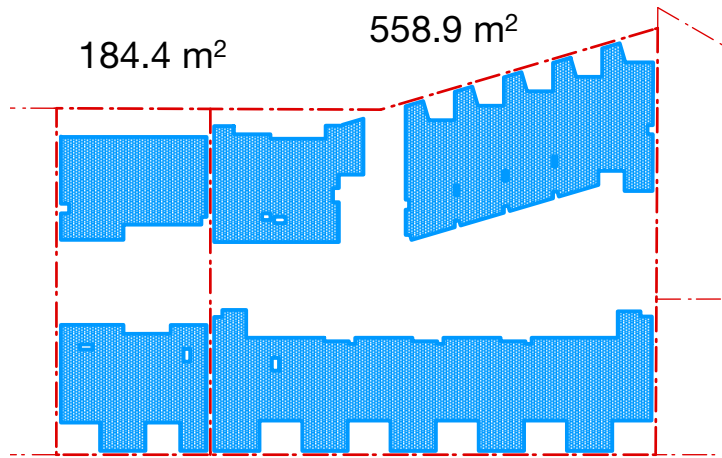
GFA PROPOSED	4,147.0 m ² (-2,736.0 m ² max.)
FSR PROPOSED	3.01:1 (60.2% of control)



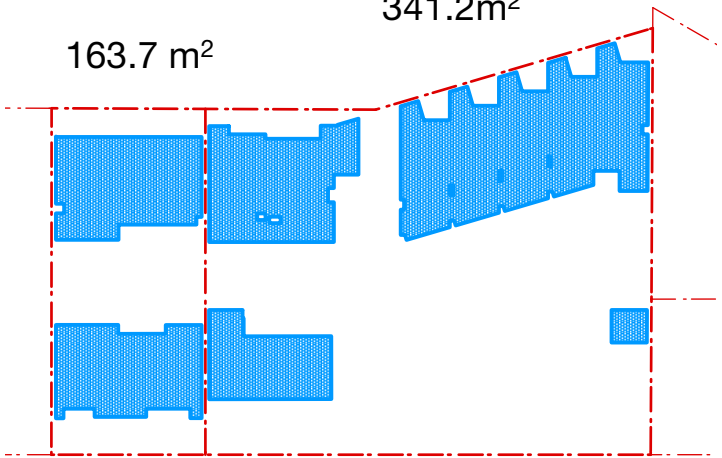
1 - Lower Ground Floor



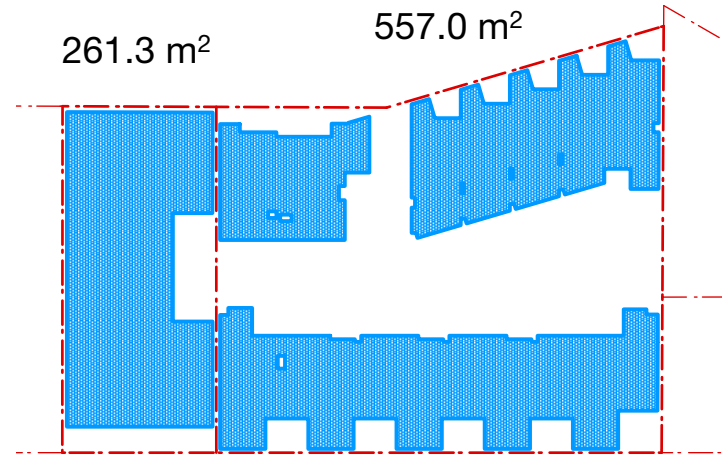
2 - Ground Floor



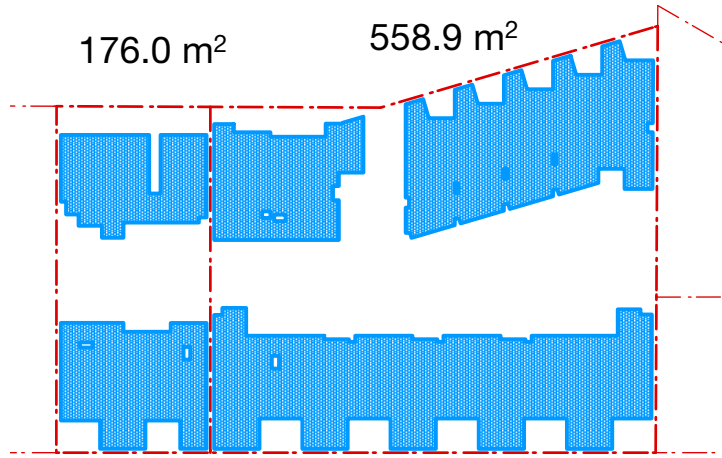
4 - Level L2



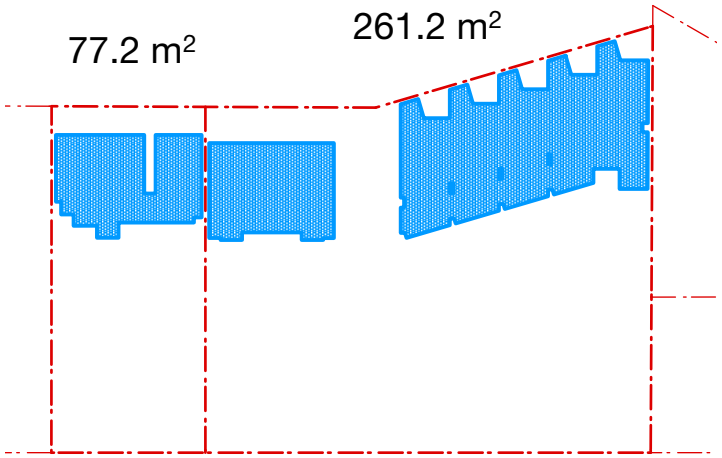
6 - Level 4



3 - Level L1

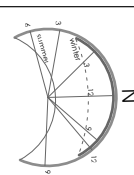


5 - Level L3



7 - Level 5

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Foster House
5-19 Mary St, Surry Hills NSW 2010

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DRAWING TITLE			
GFA Calculations			
JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/ JK	1:500	3.001
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22/6/22	PT		C

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5-15 Mary St

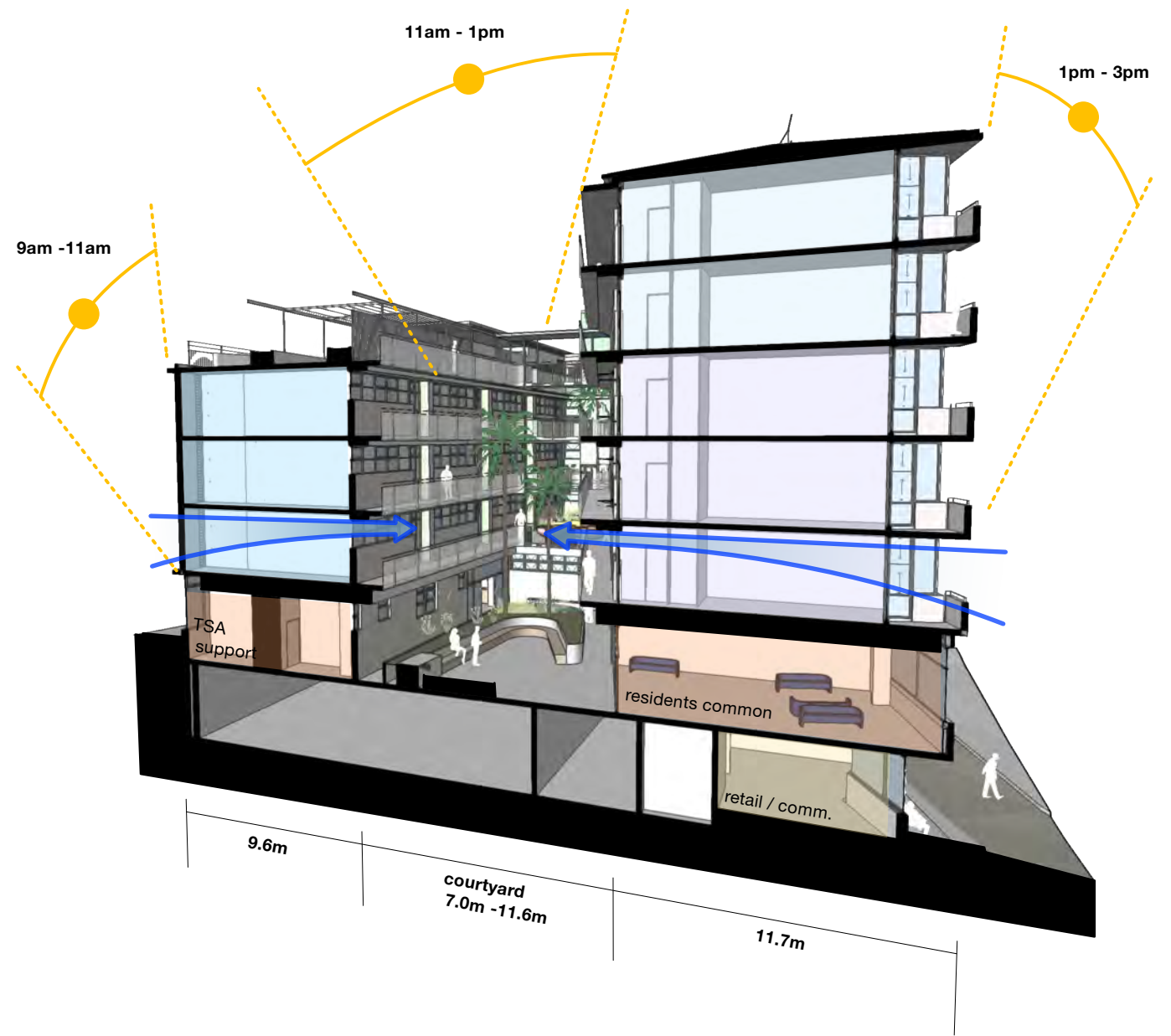
Key Apartment Design Guide Metrics

Total Units	50
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Class	no.	%	Unit Mix	no.	%
Residential	37	74%	Studio	32	64%
Co-living	13	26%	1 Bed	18	36%

Unit No.	Level	Type	Class	Area		Solar Access		Cross Ventilation			Accessibility	
				Internal (sqm)	Private Open Space (sqm)	Compliance (>2hrs)*	Time Period	Achieved	Min Required Opening (sqm)	Opening Area (sqm)	Accessibility	Bathrooms
101	1	Studio (A)	Residential	39.3	8.0	X	0.5 - 1 hr	✓	1.0	1.2	Adaptable	1
102	1	1 Bed	Residential	51.2	8.0	X	1 - 1.5 hr	✓	1.3	1.4	N/A	1
103	1	Studio	Co-living	35.0	4.0	N/A	1.5 - 2 hr	✓	0.9	1.2	N/A	1
104	1	Studio	Co-living	35.0	4.0	N/A	1.5 - 2 hr	✓	0.9	1.2	N/A	1
105	1	Studio	Co-living	35.0	4.0	N/A	1 - 1.5 hr	✓	0.9	1.2	N/A	1
106	1	Studio	Co-living	35.0	4.0	N/A	0.5 - 1 hr	✓	0.9	1.2	N/A	1
107	1	Studio (A)	Co-living	41.9	5.0	N/A	< 0.5 hr	✓	1.0	1.6	Accessible	1
108	1	1 Bed	Residential	57.4	8.0	✓	2 - 2.5 hr	✓	1.4	2.6	N/A	1
109	1	1 Bed	Residential	51.3	8.0	✓	2 - 2.5 hr	✓	1.3	3.5	N/A	1
110	1	1 Bed	Residential	51.3	8.0	✓	2 - 2.5 hr	✓	1.3	3.5	N/A	1
111	1	1 Bed	Residential	51.3	8.0	✓	2 - 2.5 hr	✓	1.3	3.5	N/A	1
112	1	1 Bed	Residential	57.9	8.0	✓	2 - 2.5 hr	✓	1.4	2.6	Silver Level	1
201	2	Studio (A)	Residential	39.3	8.0	X	0.5 - 1 hr	✓	1.0	1.2	Adaptable	1
202	2	1 Bed	Residential	51.2	8.0	X	1 - 1.5 hr	✓	1.3	1.4	N/A	1
203	2	Studio	Co-living	35.0	8.0	N/A	2 hr	✓	0.9	1.2	N/A	1
204	2	Studio	Co-living	35.0	4.0	N/A	1.5 - 2 hr	✓	0.9	1.2	N/A	1
205	2	Studio	Co-living	35.0	4.0	N/A	1.5 - 2 hr	✓	0.9	1.2	N/A	1
206	2	Studio	Co-living	35.0	4.0	N/A	1.5 - 2 hr	✓	0.9	1.2	N/A	1
207	2	Studio (A)	Co-living	41.9	5.0	N/A	< 0.5 hr	✓	1.0	1.2	Accessible	1
208	2	1 Bed	Residential	57.4	8.0	✓	2 - 2.5 hr	✓	1.4	2.6	N/A	1
209	2	1 Bed	Residential	51.3	8.0	✓	2 - 2.5 hr	✓	1.3	3.5	N/A	1
210	2	1 Bed	Residential	51.3	8.0	✓	2 - 2.5 hr	✓	1.3	3.5	N/A	1
211	2	1 Bed	Residential	51.3	8.0	✓	2 - 2.5 hr	✓	1.3	3.5	N/A	1
212	2	1 Bed	Residential	57.9	8.0	✓	2 hr	✓	1.4	2.6	Silver Level	1
301	3	Studio (A)	Residential	39.3	8.0	X	0.5 - 1 hr	✓	1.0	1.2	Adaptable	1
302	3	1 Bed	Residential	51.2	8.0	X	1 - 1.5 hr	✓	1.3	1.4	N/A	1
303	3	Studio	Residential	35.0	4.0	✓	2 hr	✓	0.9	1.2	N/A	1
304	3	Studio	Residential	35.0	4.0	✓	2 hr	✓	0.9	1.2	N/A	1
305	3	Studio	Co-living	35.0	4.0	N/A	1.5 - 2 hr	✓	0.9	1.2	N/A	1
306	3	Studio	Co-living	35.0	4.0	N/A	1.5 - 2 hr	✓	0.9	1.2	N/A	1
307	3	Studio (A)	Co-living	41.9	5.0	N/A	1.5 - 2 hr	✓	1.0	1.2	Accessible	1
308	3	1 Bed	Residential	57.4	8.0	✓	2 - 2.5 hr	✓	1.4	2.6	N/A	1
309	3	1 Bed	Residential	51.3	8.0	✓	2 - 2.5 hr	✓	1.3	3.5	N/A	1
310	3	1 Bed	Residential	51.3	8.0	✓	2 - 2.5 hr	✓	1.3	3.5	N/A	1
311	3	1 Bed	Residential	51.3	8.0	✓	2 - 2.5 hr	✓	1.3	3.5	N/A	1
312	3	1 Bed	Residential	57.9	8.0	✓	2 - 2.5 hr	✓	1.4	2.6	Silver Level	1
401	4	Studio	Residential	39.3	8.0	X	0.5 - 1 hr	✓	1.0	1.2	Adaptable	1
402	4	Studio	Residential	51.2	8.0	X	1 - 1.5 hr	✓	1.3	1.4	N/A	1
403	4	Studio	Residential	35.0	4.0	✓	2 hr	✓	0.9	1.2	N/A	1
404	4	Studio	Residential	35.0	4.0	✓	2 hr	✓	0.9	1.2	N/A	1
405	4	Studio	Residential	35.0	4.0	✓	2 hr	✓	0.9	1.2	N/A	1
406	4	Studio	Residential	35.0	4.0	X	1.5 - 2 hr	✓	0.9	1.2	N/A	1
407	4	Studio (A)	Residential	41.9	5.0	X	1.5 - 2 hr	✓	1.0	1.6	Adaptable	1
501	5	Studio	Residential	35.5	9.8	✓	2 - 2.5 hr	✓	0.9	1.2	N/A	1
502	5	Studio	Residential	35.5	8.3	✓	2 - 2.5 hr	✓	0.9	1.4	N/A	1
503	5	Studio	Residential	35.0	4.0	✓	3 hr	✓	0.9	1.2	N/A	1
504	5	Studio	Residential	35.0	4.0	✓	3 hr	✓	0.9	1.2	N/A	1
505	5	Studio	Residential	35.0	4.0	✓	3 hr	✓	0.9	1.2	N/A	1
506	5	Studio	Residential	35.0	4.0	✓	3 hr	✓	0.9	1.2	N/A	1
507	5	Studio (A)	Residential	41.9	5.0	X	1.5 - 2 hr	✓	1.0	1.6	Adaptable	1

Residential Class Units	Total No.	%	compliance	
Solar Access	> 2hrs mid winter sun	26 /37	70%	✓
At least 70% of residential units must receive >2hrs of sun in mid-winter	1 - 2 hrs mid winter sun	7 /37	19%	
	15min - 1hr mid winter sun	4 /37	11%	
	< 15min mid winter sun	0/37	0%	
Cross Ventilation	min openings achieved	37 /37	100%	✓
At least 60% of residential units must be naturally cross ventilated <small>*Minimum total opening area required = 5.0% of internal room area per NCC F4.6. Minimum opening at each side of room assumed to be 2.5% to satisfy ADG fig 4B.3</small>				
Accessibility	silver level / adaptable	9 /37	24%	✓
At least 20% of residential units incorporate silver level universal design features <small>*CoS DCP 2012 requires at least 15% adaptable units</small>				
Co-living Class Units				
Cross Ventilation	min openings achieved	13 /13	100%	✓
At least 60% of residential units must be naturally cross ventilated				
Accessibility	accessible units	3 /13	23%	✓
<small>*Table D3.1 of the NCC 2019 requires 2 accessible units per 11 - 40 units in a Class 3 building</small>				



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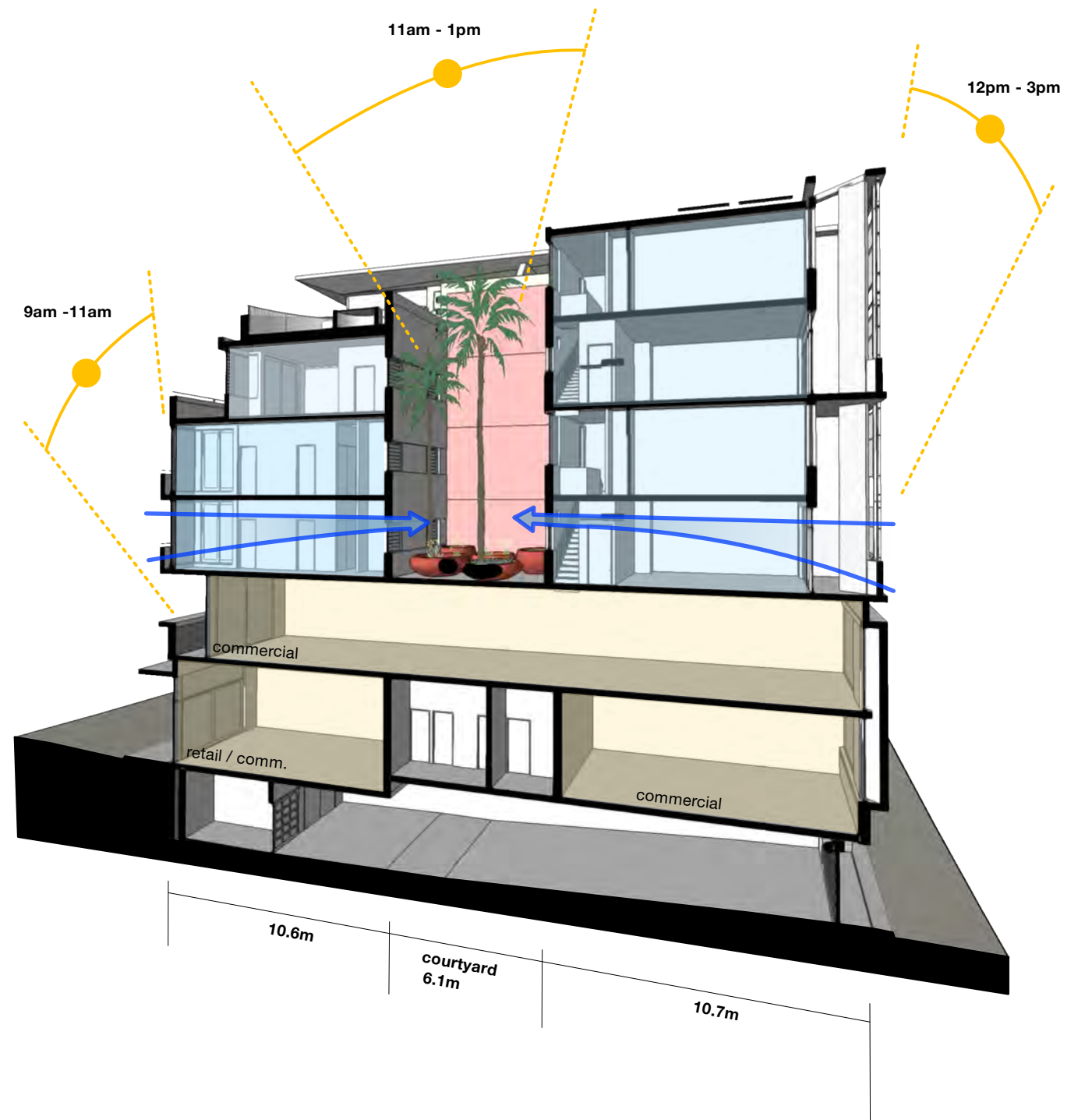
17-19 Mary St

Key Apartment Design Guide Metrics

Total Units	10				
Class	no.	%	Unit Mix	no.	%
Residential	10	100%	Studio	4	40%
Co-living	nil	-	1 Bed	4	40%
			2 Bed	2	20%

ADG Compliance Checklist

Residential Class Units	Total No.	%	compliance
Solar Access	> 2hrs mid winter sun	8 /10	80%
At least 70% of residential units must receive >2hrs of sun in mid-winter	1 - 2 hrs mid winter sun 15min - 1hr mid winter sun < 15min mid winter sun	nil 1 /10 1 /10	0% 10% 10%
Cross Ventilation	min openings achieved	10 /10	100%
At least 60% of residential units must be naturally cross ventilated	*Minimum total opening area required = 5.0% of internal room area per NCC F4.6. Minimum opening at each side of room assumed to be 2.5% to satisfy ADG fig 4B.3		
Accessibility	silver level / adaptable	2 /10	20%
At least 20% of residential units incorporate silver level universal design features	*CoS DCP 2012 requires at least 15% adaptable units		



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Residential Accommodation Schedule

Unit No.	Level	Type	Class	Area		Solar Access		Cross Ventilation			Accessibility	
				Internal (sqm)	Private Open Space (sqm)	Compliance (>2hrs)*	Time Period	Achieved	Min Required Opening (sqm)	Opening Area (sqm)	Accessibility	Bathrooms
1	2	2 Bed	Residential	102.7	13.6	X	< 0.5 hr	✓	2.6	5.7	N/A	2
2	2	1 Bed	Residential	62.0	8.0	X	< 0.5 hr	✓	1.6	2.3	N/A	1
3	2	1 Bed	Residential	58.4	8.0	✓	2 - 2.5 hr	✓	1.5	2.1	N/A	1
4	2	Studio	Residential	38.5	6.2	✓	2 - 2.5 hr	✓	0.9	1.2	Silver	1
5	3	1 Bed	Residential	58.4	8.0	✓	2 - 2.5 hr	✓	1.5	2.1	N/A	1
6	3	Studio	Residential	38.5	6.2	✓	2 - 2.5 hr	✓	0.9	1.2	N/A	1
7	4	2 Bed	Residential	102.7	14.5	✓	2.5 - 3 hr	✓	2.6	5.7	N/A	2
8	4	1 Bed	Residential	62.0	8.2	✓	2.5 - 3 hr	✓	1.6	2.3	N/A	1
9	4	Studio	Residential	37.2	13.0	✓	2 - 2.5 hr	✓	0.9	2.1	Adaptable	1
10	4	Studio	Residential	37.2	18.0	✓	2 - 2.5 hr	✓	0.9	1.2	N/A	1

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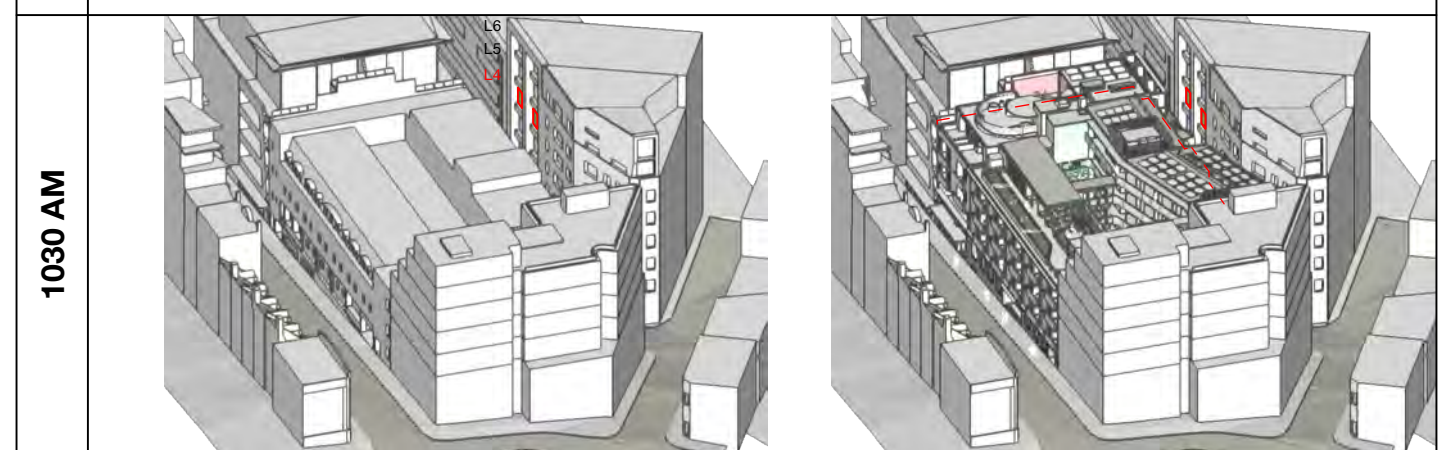
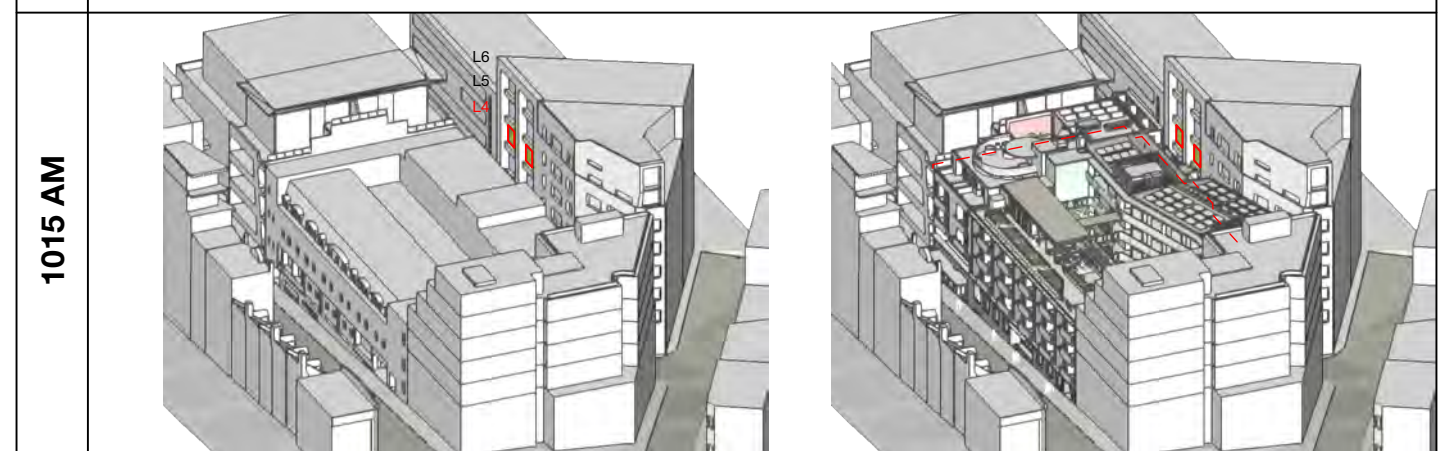
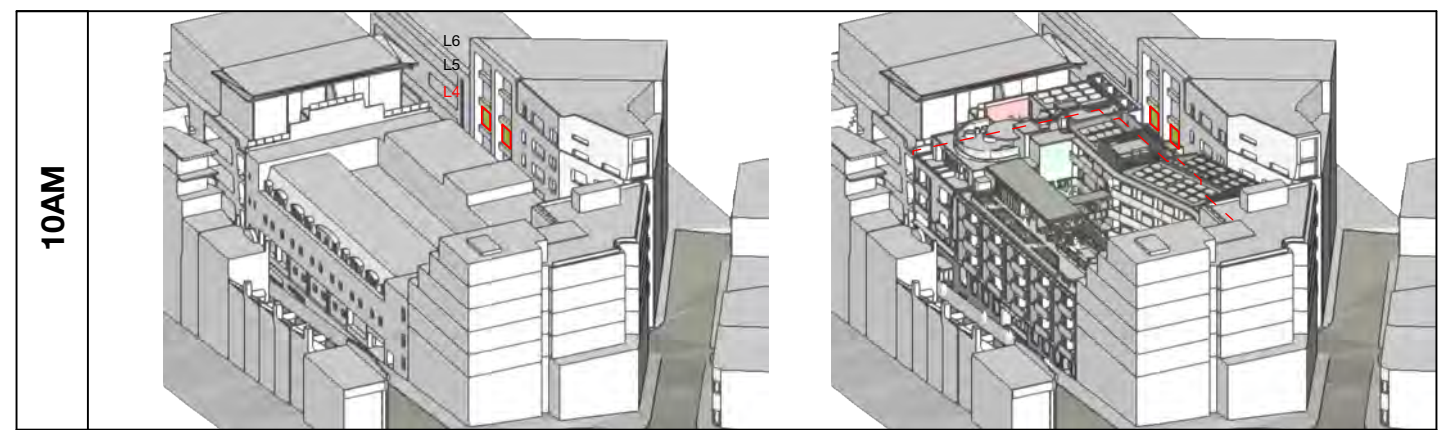
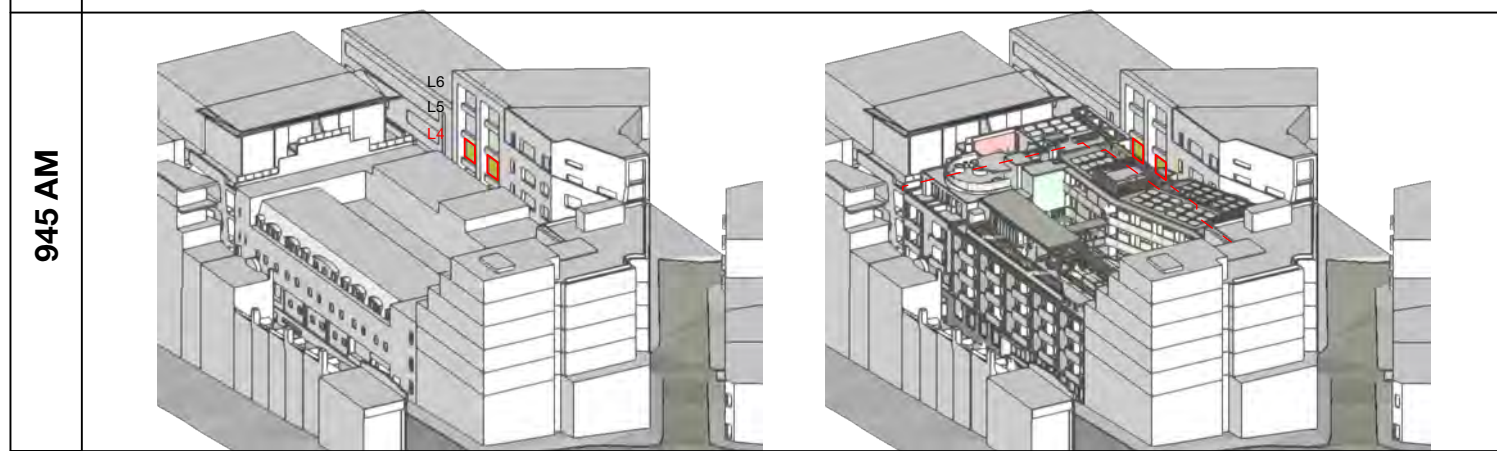
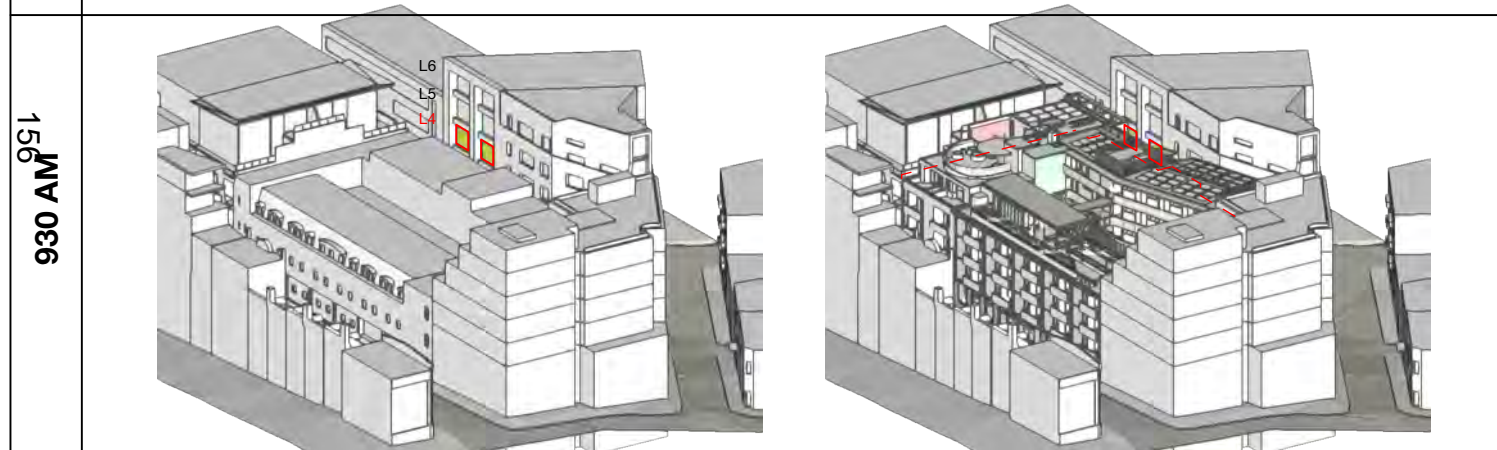
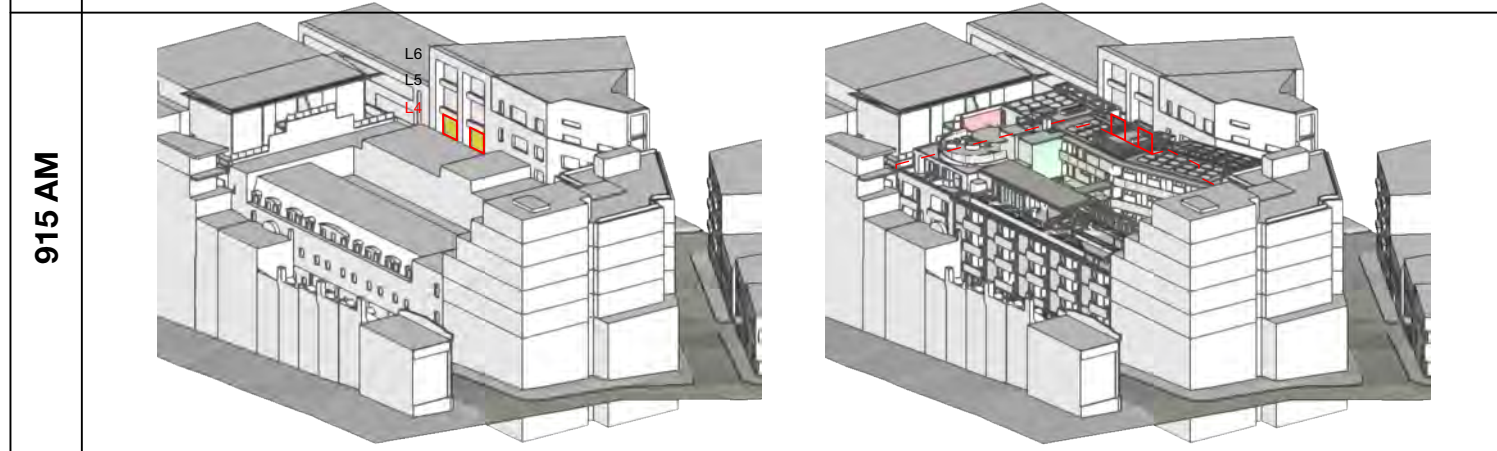
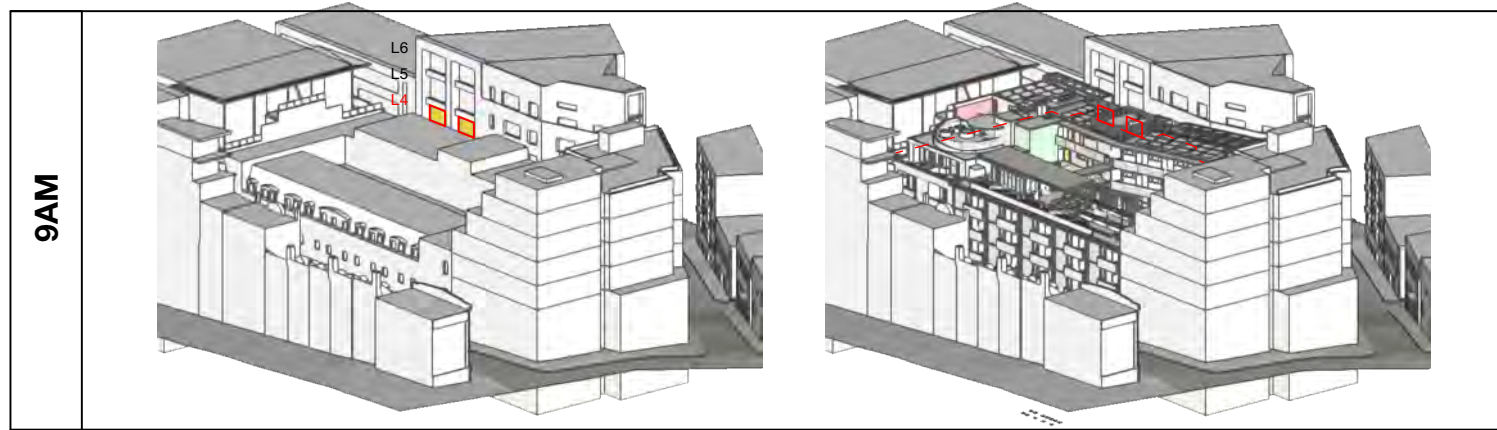
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REV	DATE	AMENDMENT
A	6/12/2022	Issue for Coordination
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C	13/12/2022	ISSUE FOR DEVELOPMENT APPLICATION

PROJECT
Foster House
 5-19 Mary St, Surry Hills NSW 2010

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DRAWING TITLE			
ADG Performance - 17-19 Mary St			
JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/ JK	1:500	3.003
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56-58 Foster St - Existing Sun Access

Level	no. dwellings receiving sun			Total
	2hrs	15mins - 2 hrs	nil	
7	1			1
6	1			1
5	1			1
4	1	2		3
3	no resi approval			0
2	no resi approval			0
1	1			1
	5	2	0	7
	71.4%	28.6%	0.0%	

56-58 Foster St - Proposed Sun Access

Level	no. dwellings receiving sun			Total
	2hrs	15mins - 2 hrs	nil	
7	1			1
6	1			1
5	1			1
4	1	2		3
3	no resi approval			0
2	no resi approval			0
1	1			1
	5	2	0	7
	71.4%	28.6%	0.0%	

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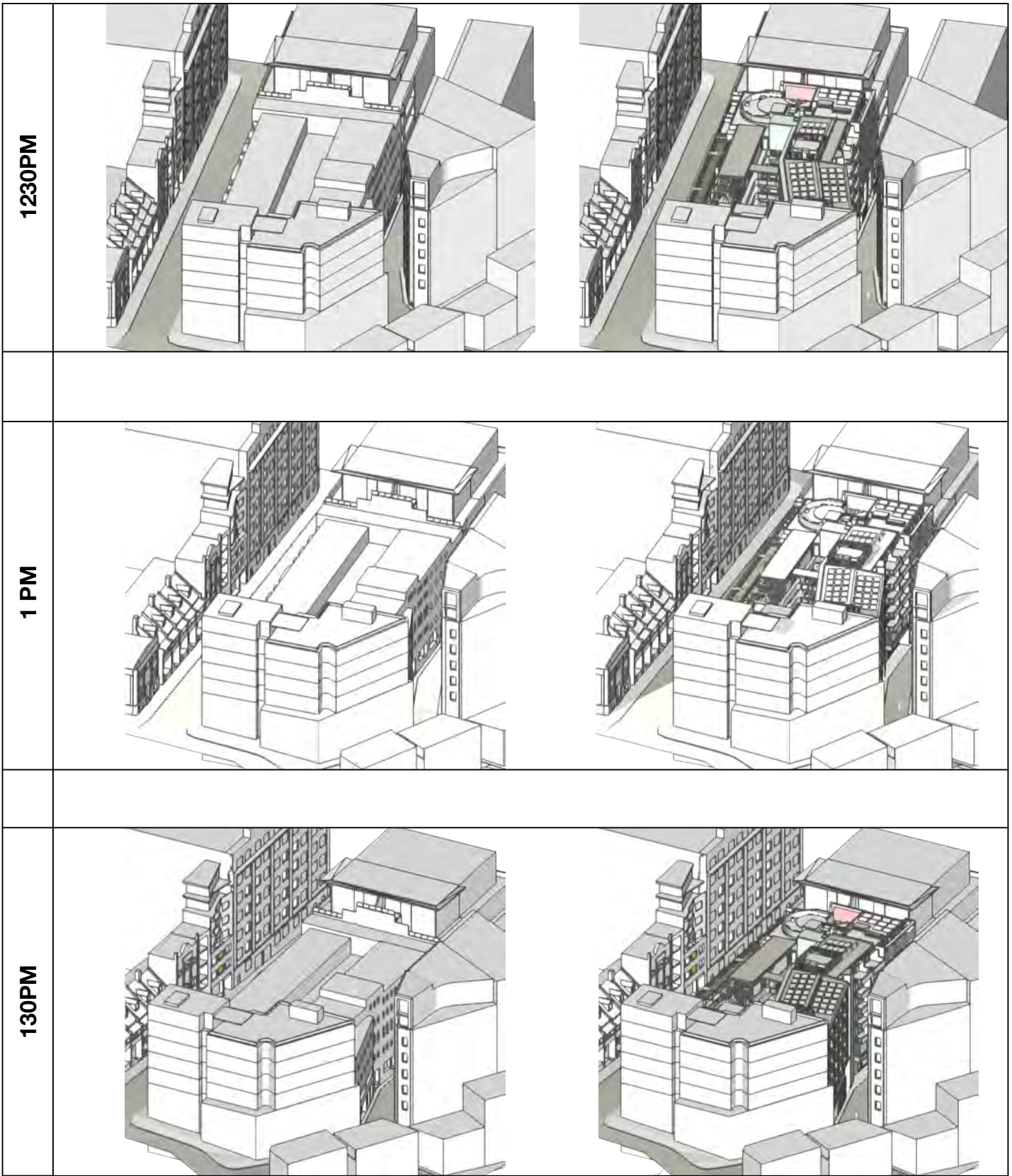
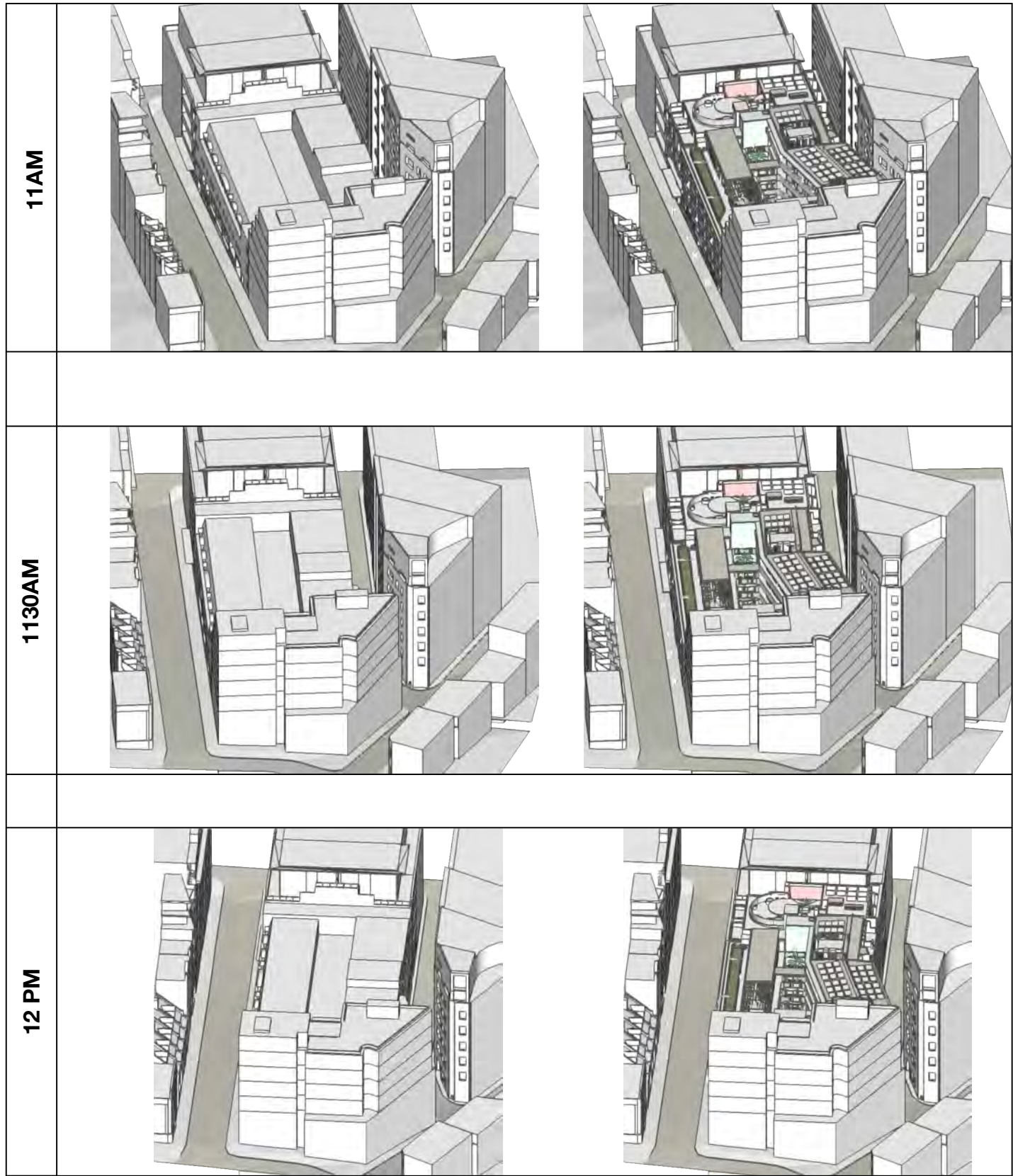
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DRAWING TITLE			
Shadow Impact Study			
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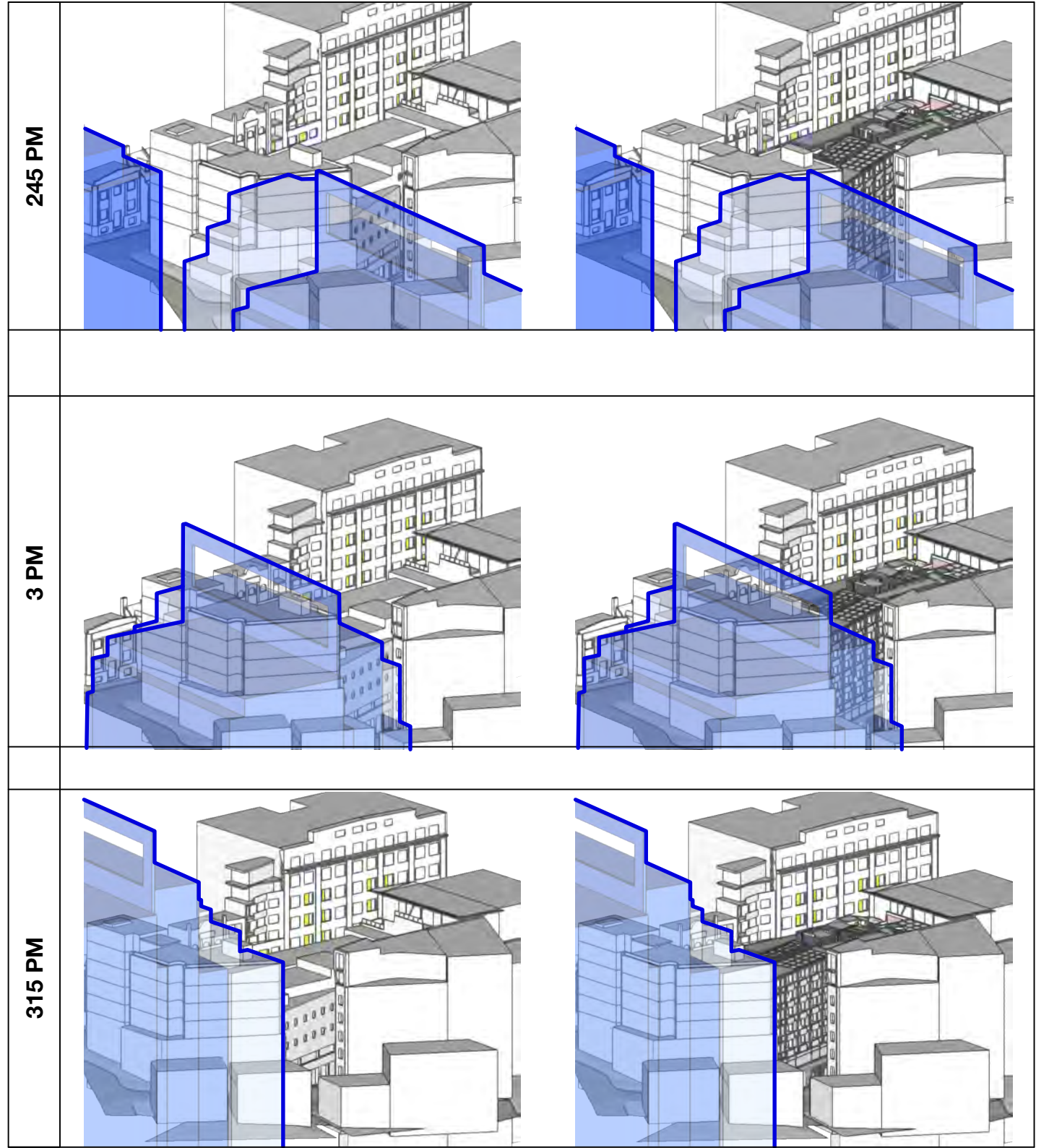
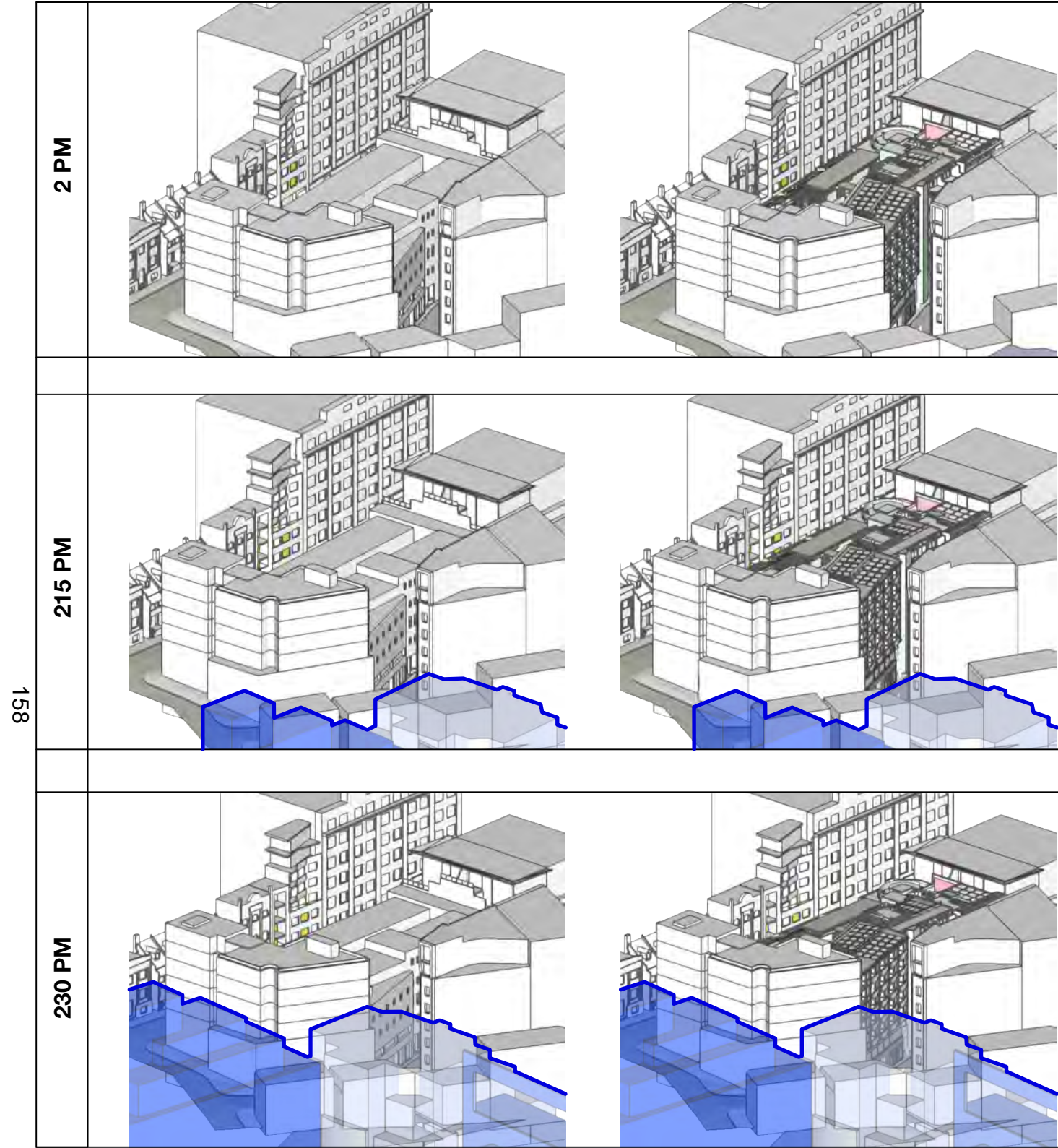
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DRAWING TITLE
Shadow Impact Study

JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/JK	1:500	3.102
DATE	CHECKED	PLOT DATE	REVISION
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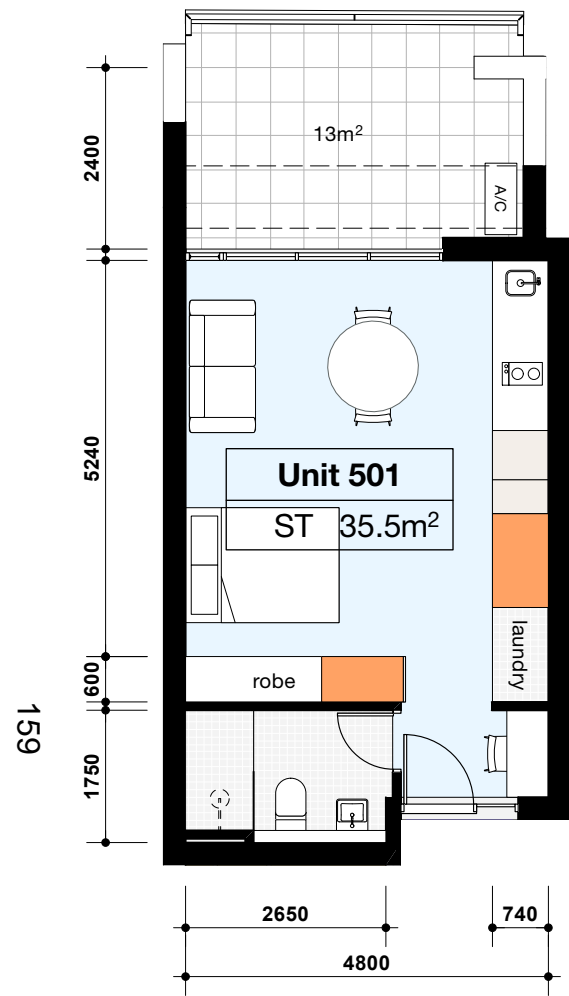
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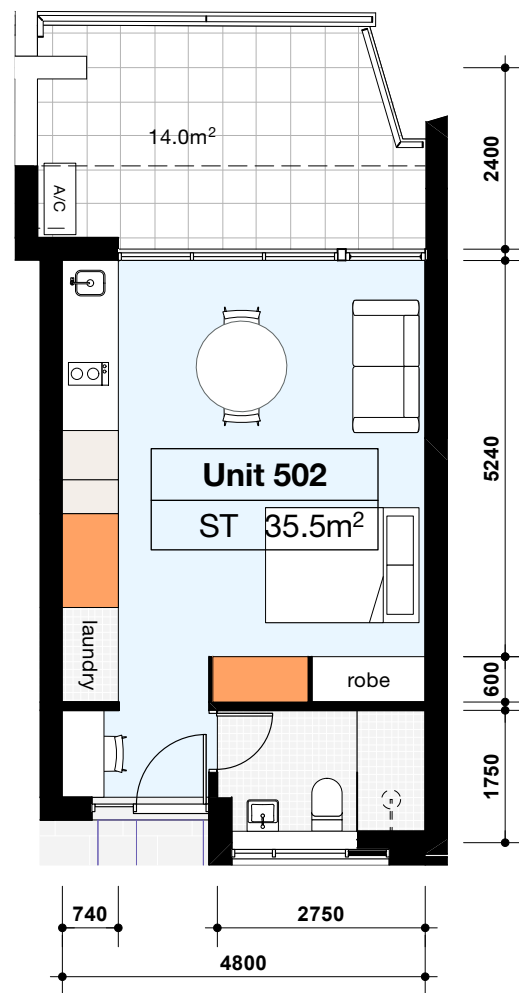
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Shadow Impact Study

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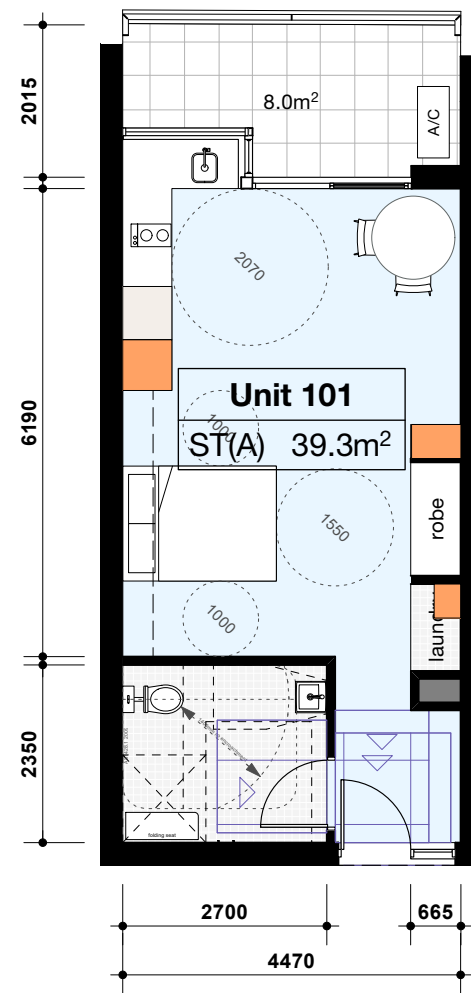
4.2 m³ storage

Unit 501
Scale: 1:100



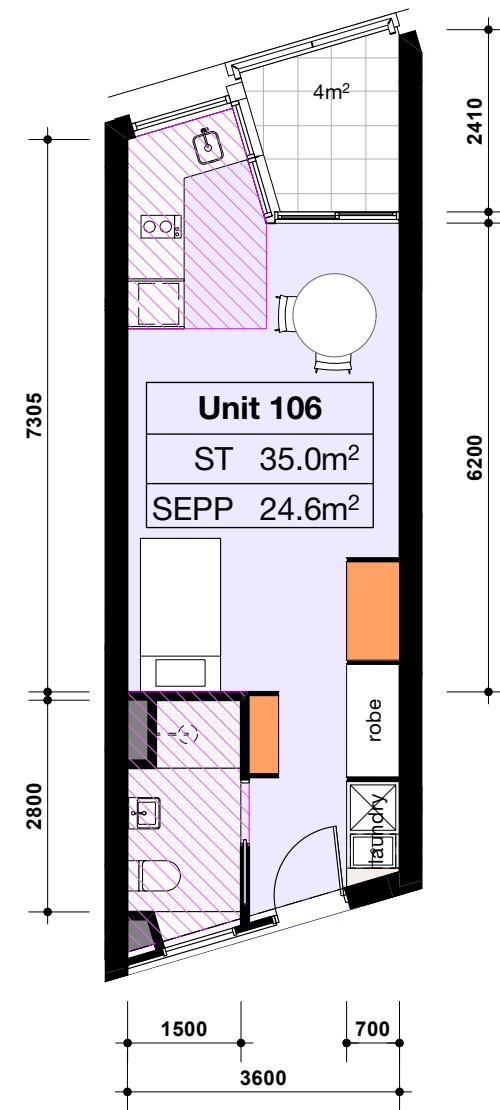
4.2 m³ storage

Unit 502
Scale: 1:100



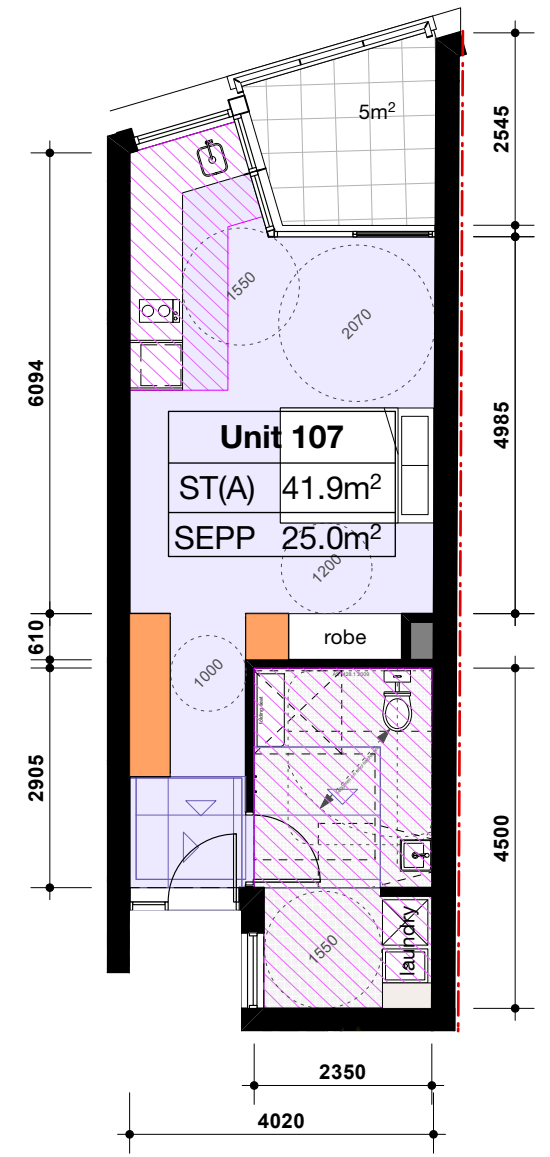
4.0 m³ storage

Unit 101 / 201 / 301 / 401
Scale: 1:100



4.0 m³ storage

Typical Studio Unit
Scale: 1:100



4.0 m³ storage

Unit 107 / 207 / 307 / 407 / 507
Scale: 1:100

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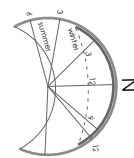
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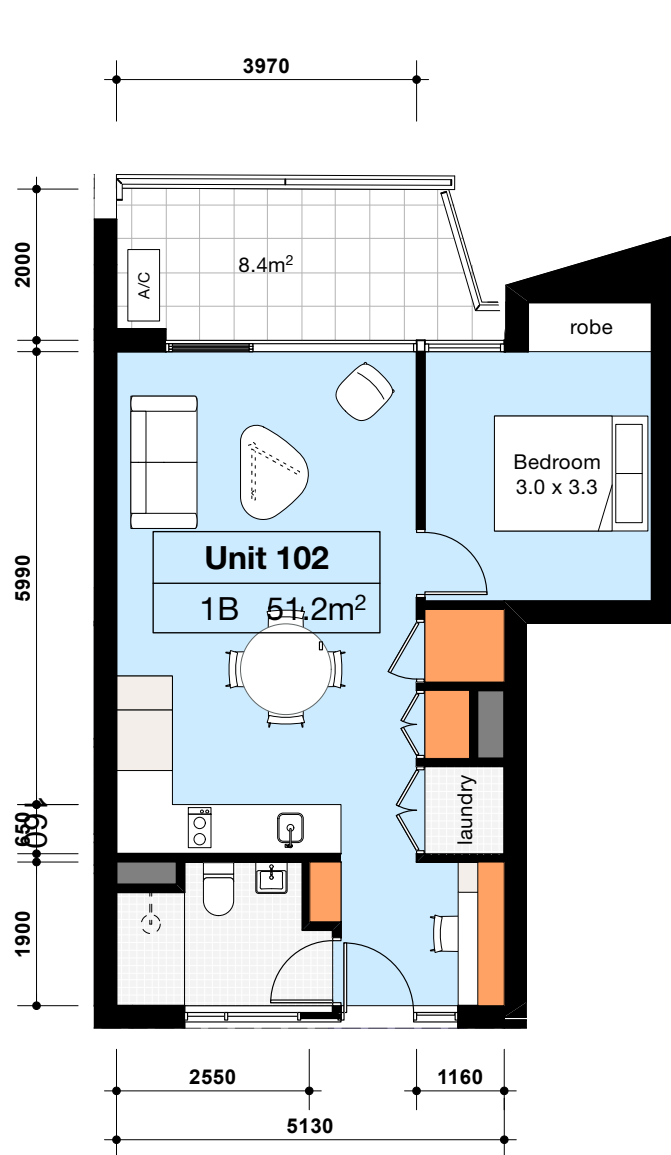
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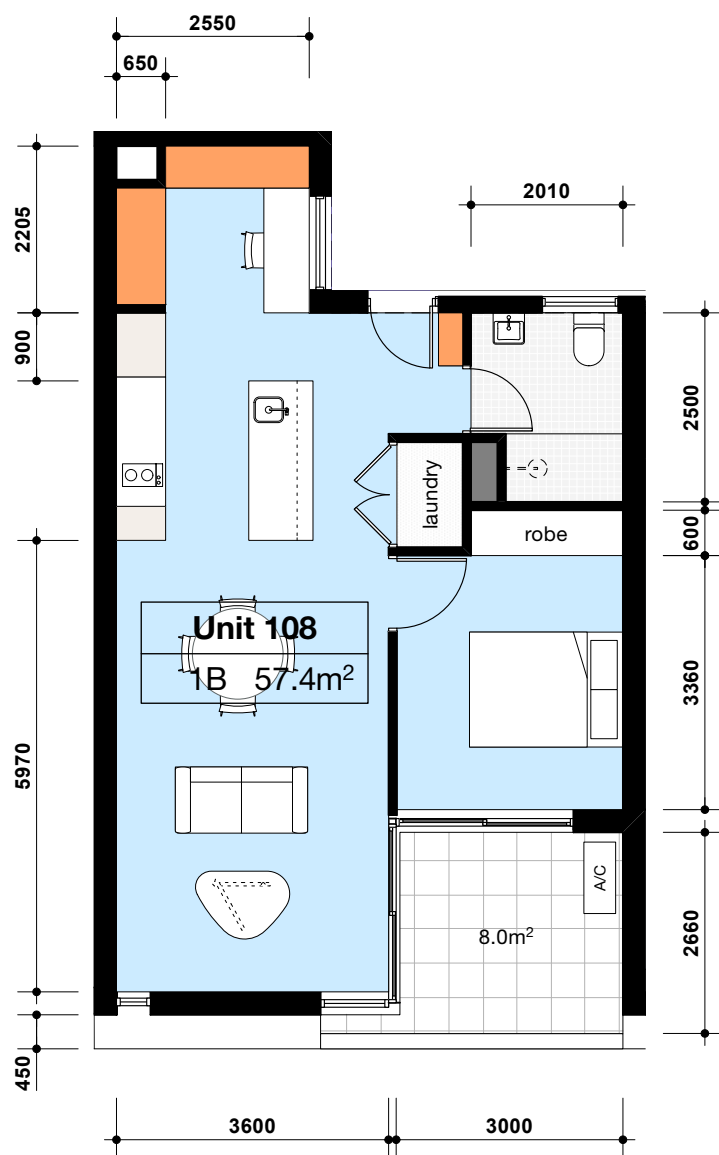
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5-15 Unit Types Schedule			
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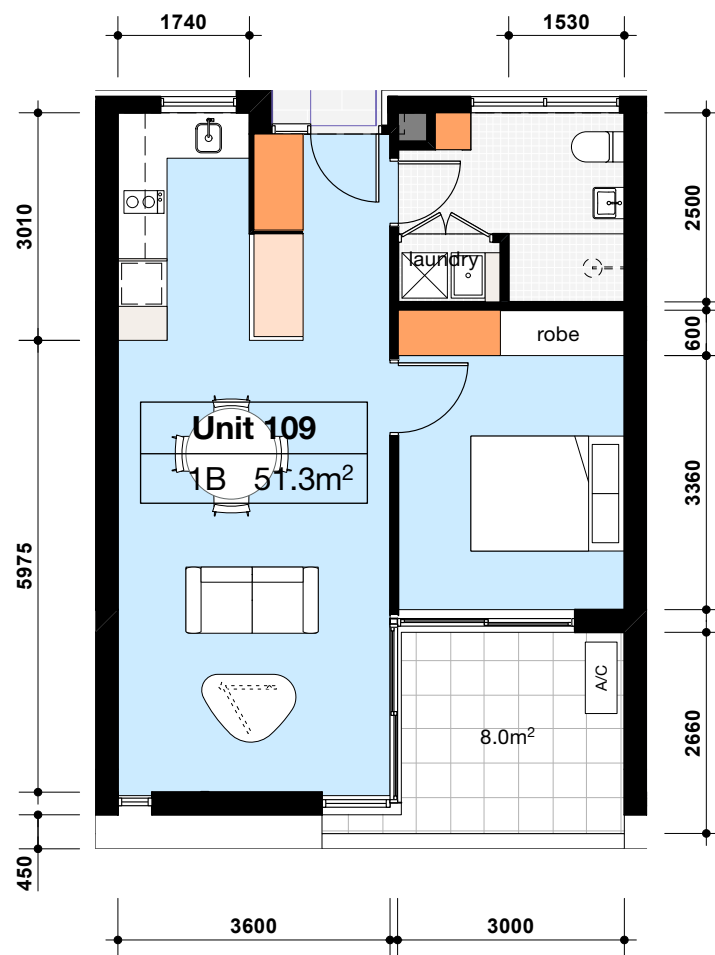
6.0 m³ storage

Unit 102 / 202 / 302 / 402
Scale: 1:100



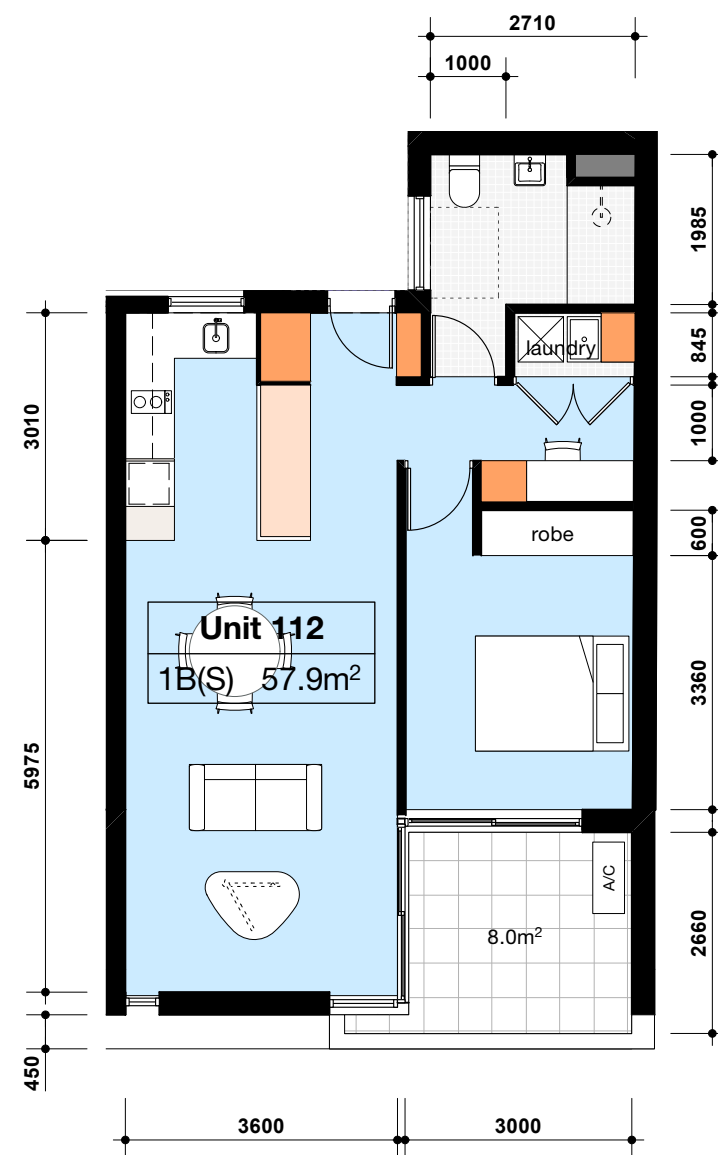
6.0 m³ storage

Unit 108 / 208 / 308
Scale: 1:100



6.0 m³ storage

Typical 1 Bed Unit
Scale: 1:100



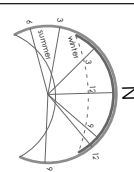
6.0 m³ storage

Unit 112 / 212 / 312 - silver level
Scale: 1:100

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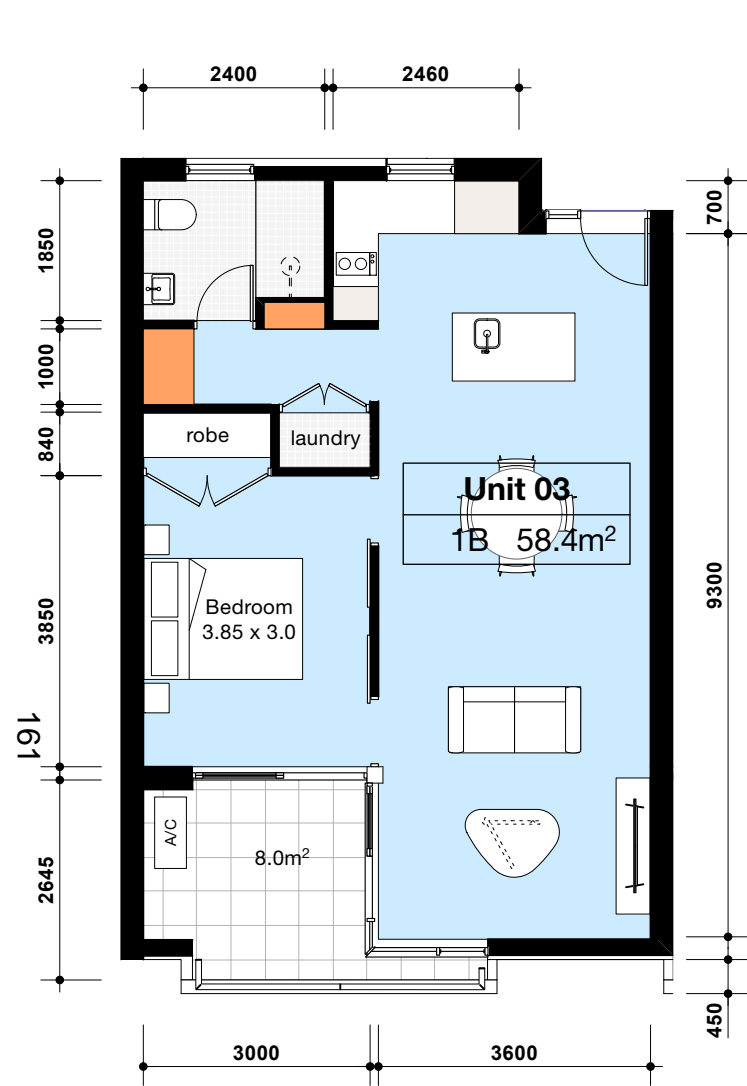


REV	DATE	AMENDMENT
A	6/12/2022	Issue for Coordination
B	8/12/2022	Issue for Information
C	13/12/2022	ISSUE FOR DEVELOPMENT APPLICATION

PROJECT
Foster House
5-19 Mary St, Surry Hills NSW 2010

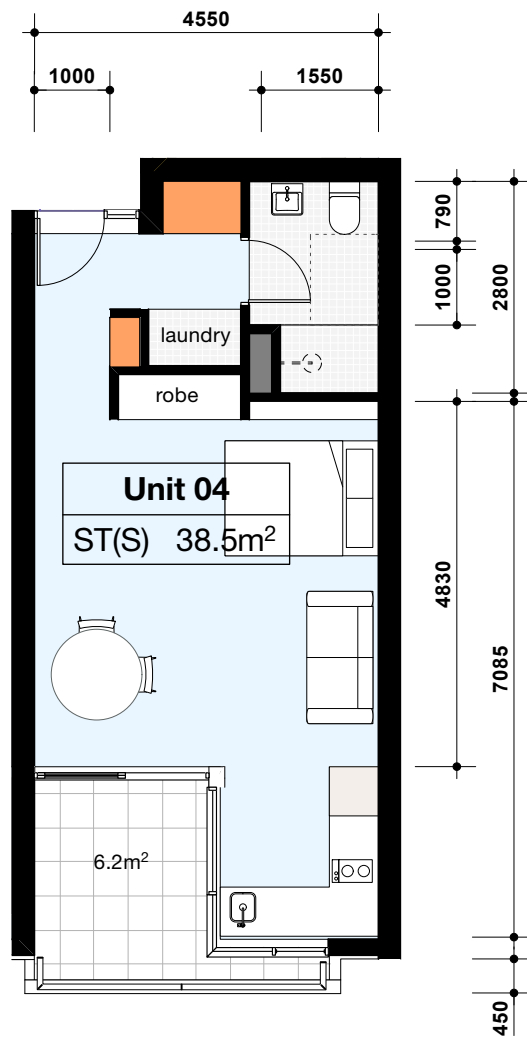
CLIENT
The Salvation Army Australia Territory

DRAWING TITLE			
5-15 Unit Types Schedule			
JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/JK	1:200	4.002
DATE	CHECKED	PLOT DATE	REVISION
24/5/22	PT		C



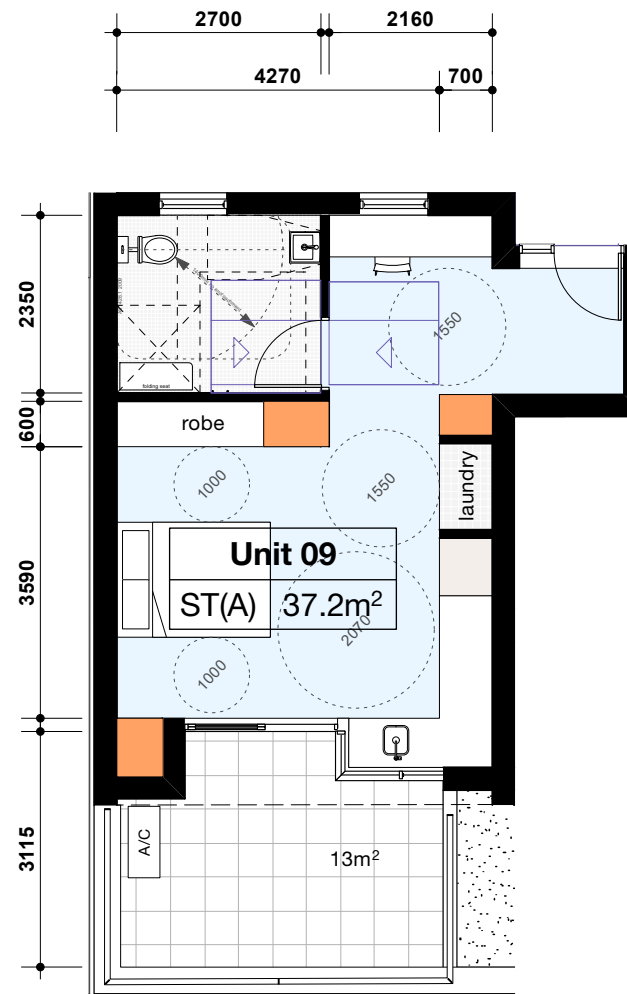
3.0 m³ storage + 3.0m³ in basement

Unit 03 / 05 - 1 Bed
Scale: 1:100



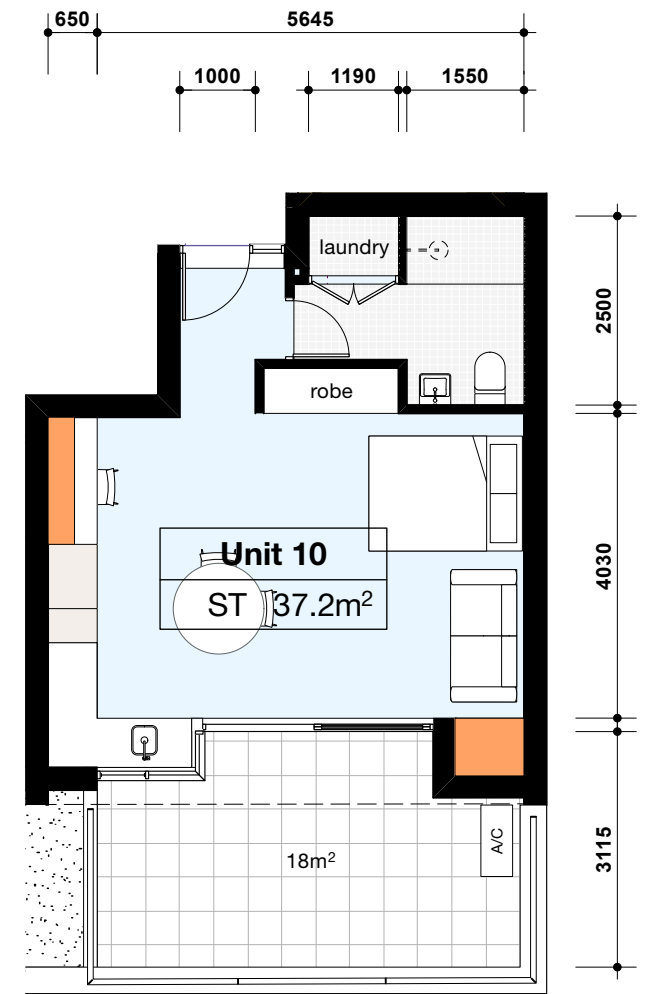
3.8 m³ storage + 3.0m³ in basement

Unit 04 / 06 - Silver Level Studio
Scale: 1:100



4.0 m³ storage

Unit 09 - Adaptable Studio
Scale: 1:100



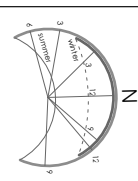
3.0 m³ storage + 3.0m³ in basement

Unit 10 - Studio
Scale: 1:100

ARCHITECTS IN ASSOCIATION:



LEVELS: 68-72 Wentworth Ave
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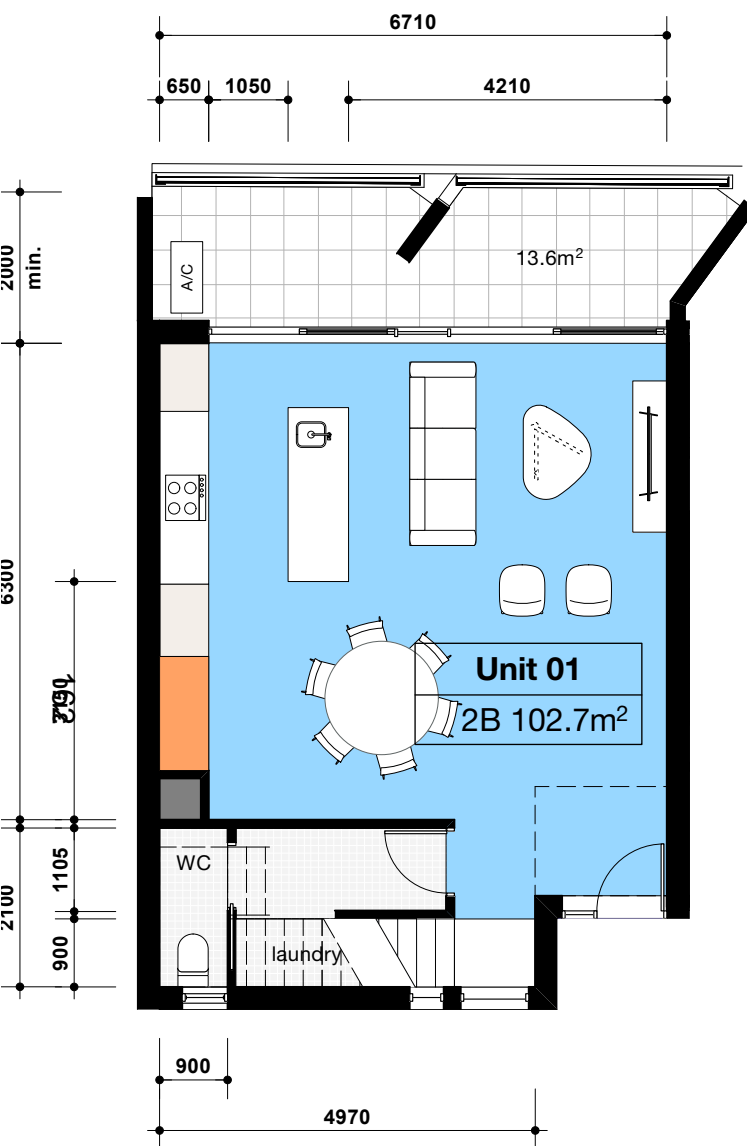


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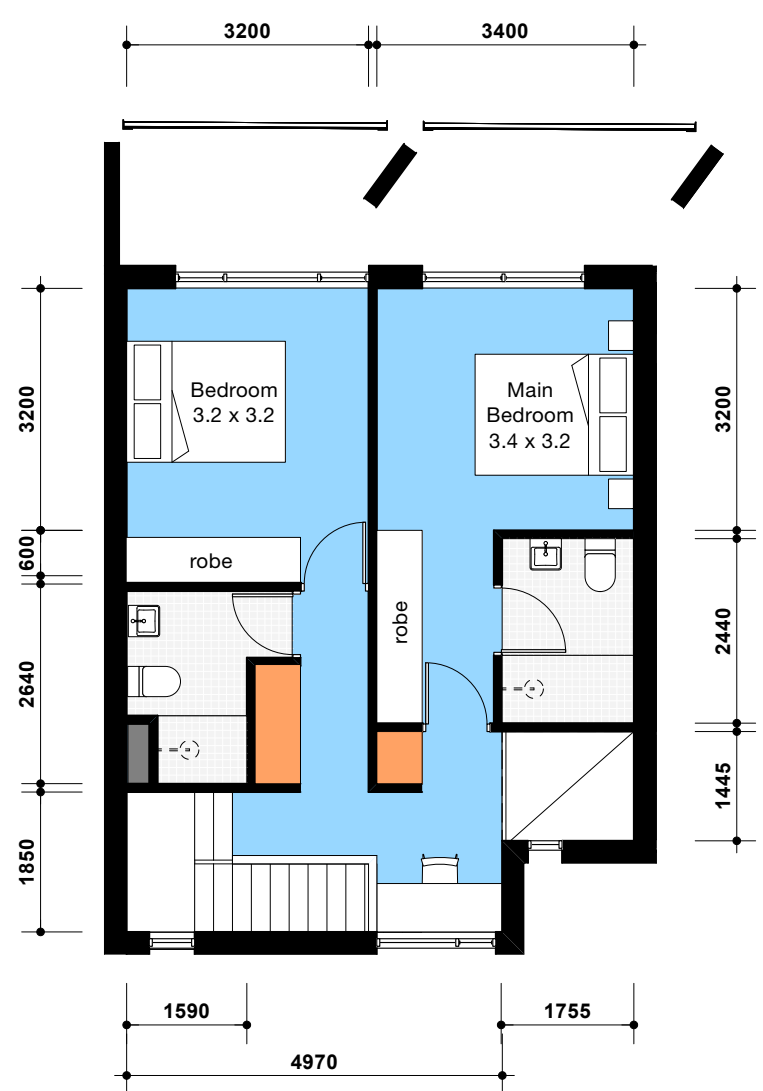
PROJECT
Foster House
5-19 Mary St, Surry Hills NSW 2010

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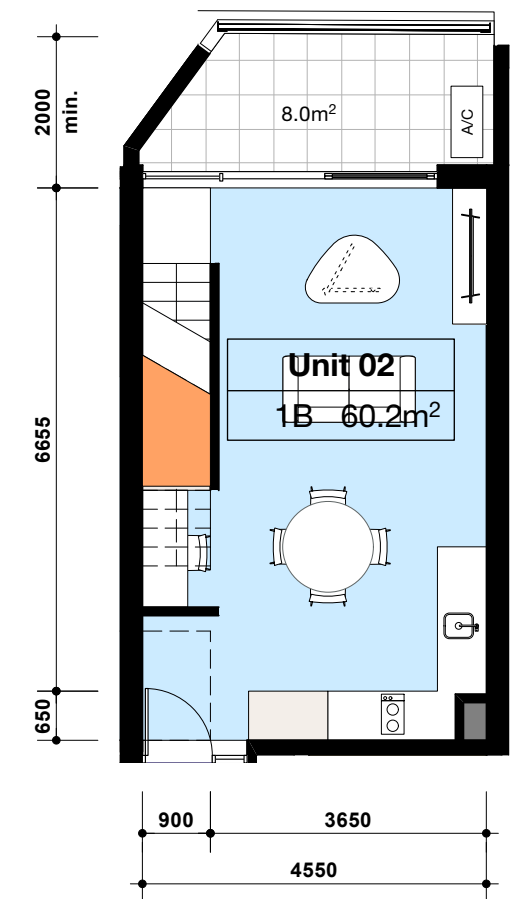
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17-19 Unit Types Schedule			
JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/JK	1:200	4.003
DATE	CHECKED	PLOT DATE	REVISION
24/5/22	PT		C



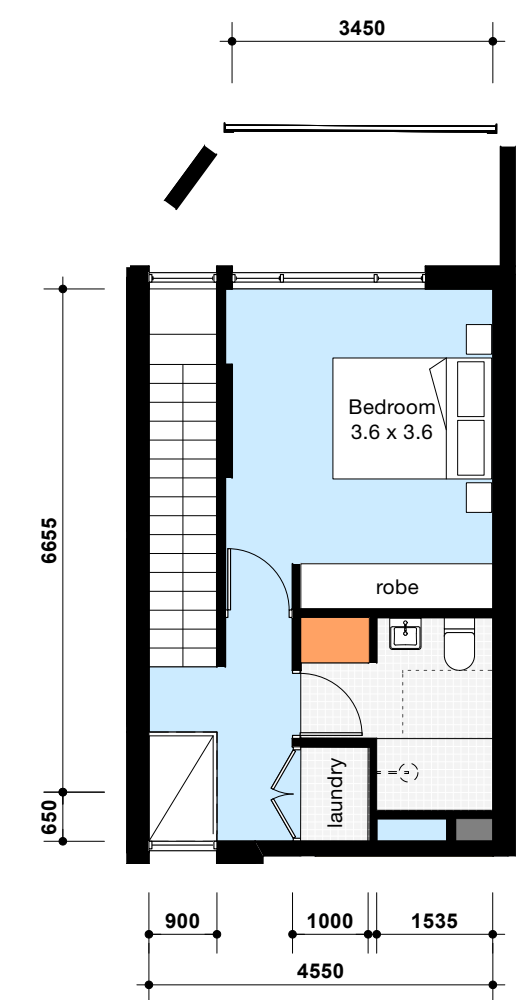
Unit 01 / 07 - 2 Bed Entry Level
Scale: 1:100



Unit 01 / 07 - 2 Bed Upper Level
Scale: 1:100



Unit 02 / 08 - 1 Bed Entry Level
Scale: 1:100



Unit 02 / 08 - 1 Bed Upper Level
Scale: 1:100

ARCHITECTS IN ASSOCIATION:

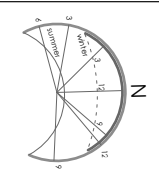
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Nominated Architects: Philip Thalis #4380 Sarah Hill #5285

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Comply with the relevant Australian Standards
Comply with relevant Authorities' requirements

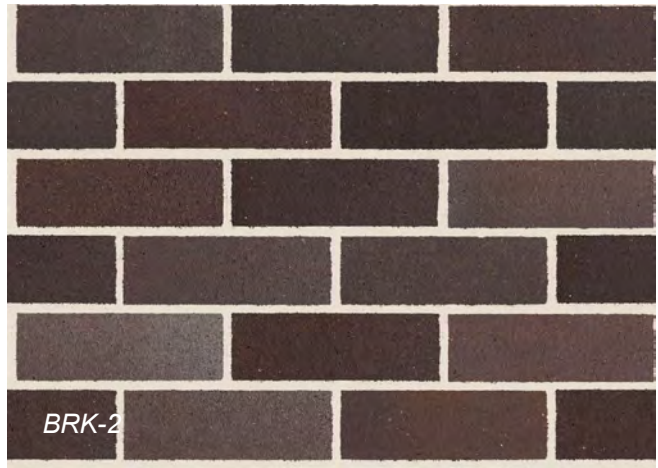
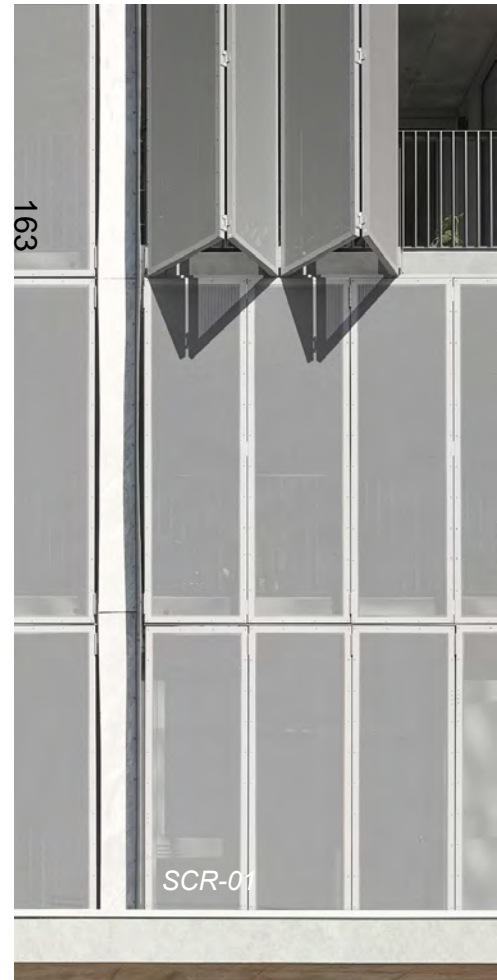
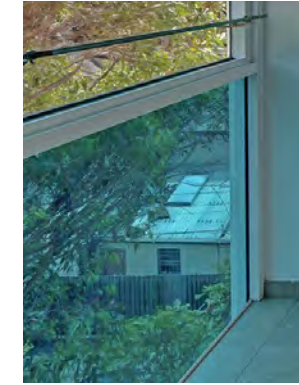
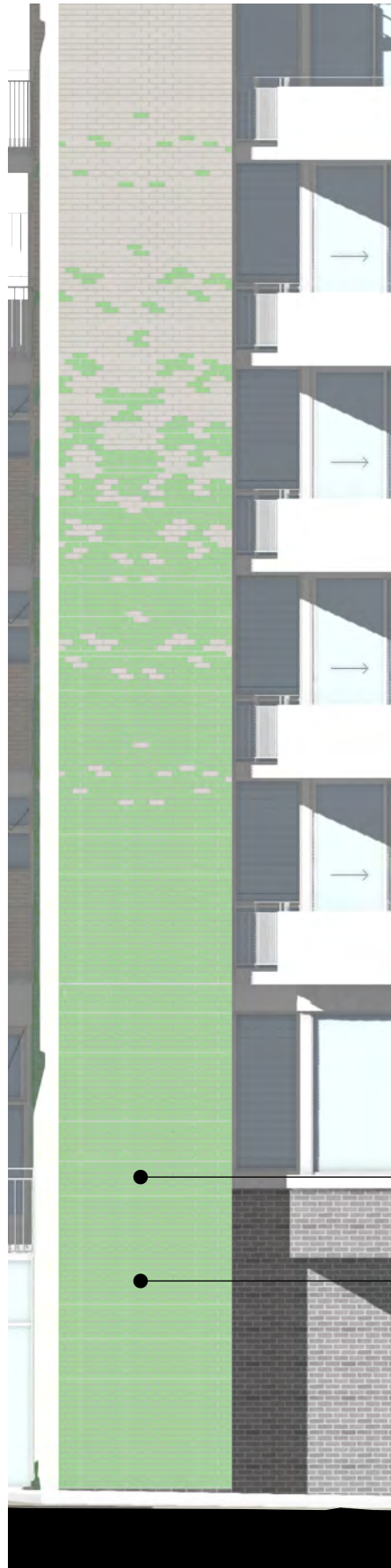
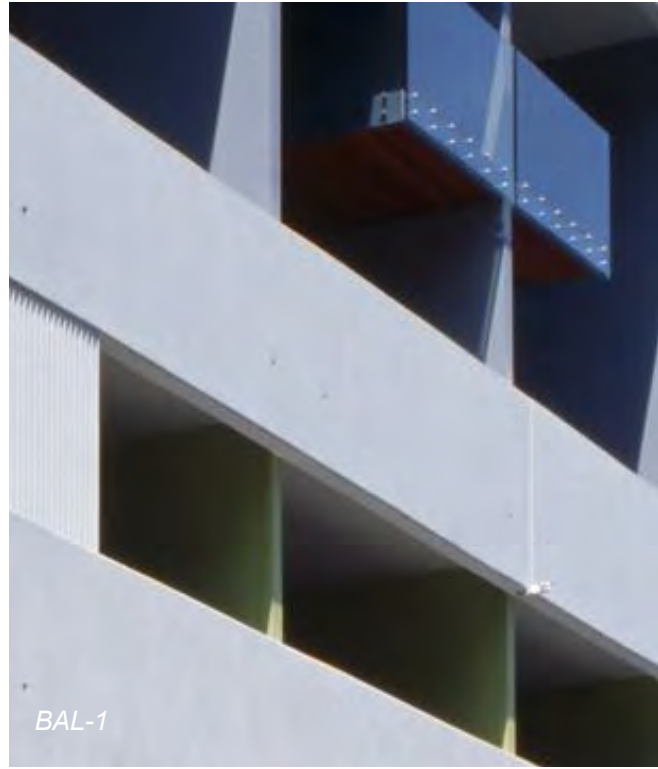
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PROJECT	
Foster House	
5-19 Mary St, Surry Hills NSW 2010	
CLIENT	
The Salvation Army Australia Territory	

DRAWING TITLE			
17-19 Unit Types Schedule			
JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/JK	1:200	4.004
DATE	CHECKED	PLOT DATE	REVISION
24/5/22	PT		C



BAL-2

coloured glass spandrel

MRS

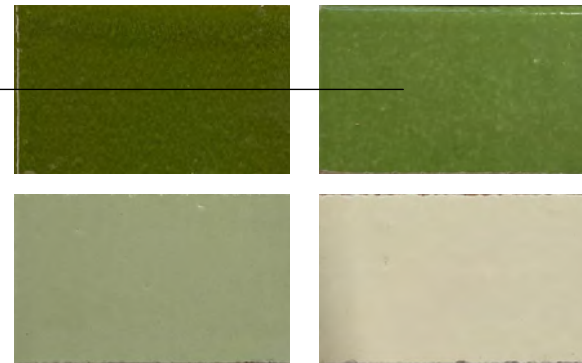


BRK-3 - white blend

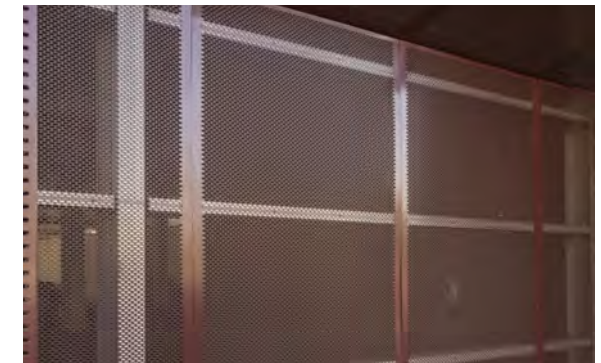


BAL-3

Refer public art plan for greater detail



BRK-4 - glazed brick



RD - perforated roller door

ARCHITECTS IN ASSOCIATION:

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REV	DATE	AMENDMENT
A	6/12/2022	Issue for Coordination
B	13/12/2022	ISSUE FOR DEVELOPMENT APPLICATION

MATERIALS LEGEND

AFD - Aluminium Framed Door	CLD-2 - FC spandrel	RC - Concrete Finish
AFW - Aluminium Framed Window	GU - Gutter	RD - Perforated Metal Panel Door
AWN - Suspended Awning	HR - Handrail	RWT - Rainwater Tank
BAL-1 - Finished Concrete Balustrade	LA - Landscaping	SCR-01 - Perforated Screen
BAL-2 - Perforated Metal Balustrade	LB - Letterboxes	SCR-02 - Acoustic Metal Screen
BAL-3 - Metal Balustrade	LV - Louvre Vent	SK - Skylight
BRK-1 - Brick, Medium	MF - Metal Fence	
BRK-2 - Brick, Dark	MG - Metal Gate	
BRK-3 - Brick, Light	MRS - Metal Roof Sheet	
BRK-4 - Glazed Brick	PER - Pergola Shade Structure	
CLD-1 - FC Cladding	PFC - Steel Channel	

PROJECT

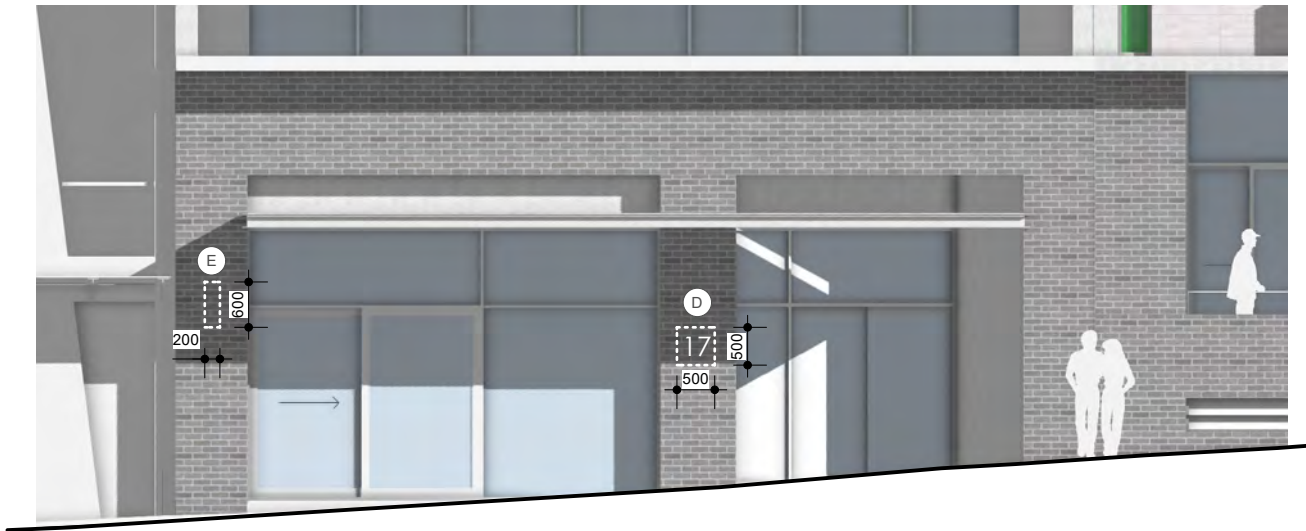
Foster House
5-19 Mary St, Surry Hills NSW 2010

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DRAWING TITLE

Materials Schedule

JOB NO	DRAWN	SCALE	DRAWING NO.
22.19	AR/JK	1:200	5.001
DATE	CHECKED	PLOT DATE	REVISION
23/5/22	PT		B



Mary Street - Retail & Building Signage



Mary Street - Foster House Signage

A - Retail / Commercial Signage

Metal plate with tenant lettering and signage, face fixed to splayed brick walls where shown - 600mm x 600mm, not illuminated



164

B - Foster House on Hands Lane

The Salvation Army building signage - metal lettering paired with red shield. Font TT commons demibold, not illuminated



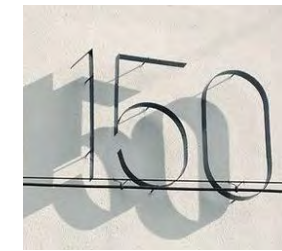
C - Foster House on Mary St

The Salvation Army building signage - metal lettering paired with red shield. Font TT commons demibold, sign illuminated with warm wall washing downlight LED on sign only



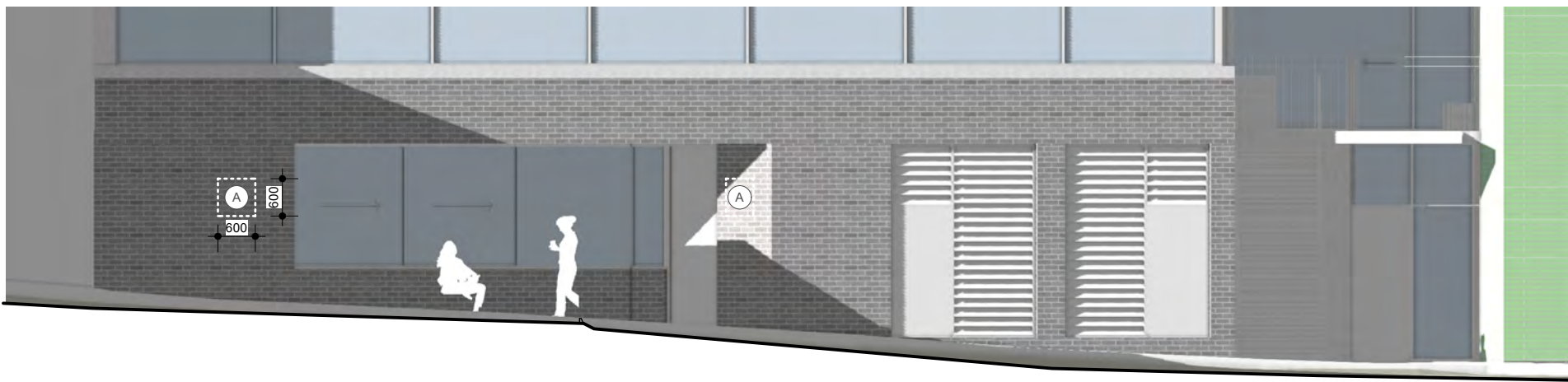
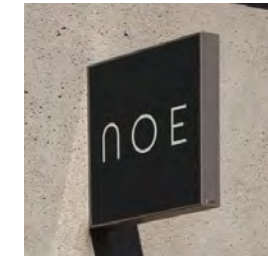
D - Mixed Use building street number on Mary St

Standoff metal lettering - 500mm x 500mm, not illuminated

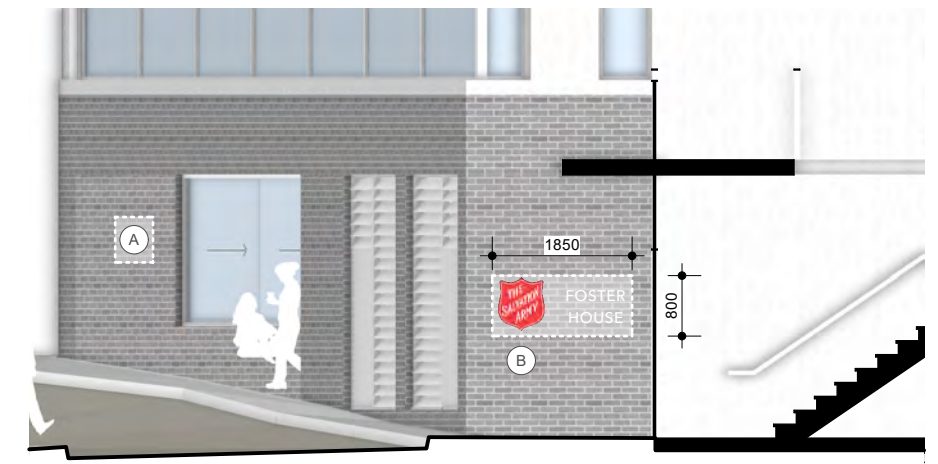


E - Mixed Use building Mary St Retail

Side mounted metal retail signage fixed to wall 200x 600, projecting 500mm from wall. Not Illuminated



Hands Lane Retail Signage



Hands Lane - Foster House Signage

ARCHITECTS IN ASSOCIATION: ARCHITECTURE + URBAN PROJECTS PTY LTD 	REV	DATE	AMENDMENT	MATERIALS LEGEND AFD - Aluminium Framed Door AFW - Aluminium Framed Window AWN1 - Suspended Awning AWN2 - Projecting Awning BAL-1 - Finished Concrete Balustrade BAL-2 - Perforated Metal Balustrade BAL-3 - Metal Balustrade BRK-1 - Brick, Medium BRK-2 - Brick, Dark BRK-3 - Brick, Light BRK-4 - Glazed Brick CLD-1 - FC Cladding CLD-2 - FC Spandrel GU - Gutter HR - Handrail LA - Landscaping LB - Letterboxes LV - Louvre Vent MF - Metal Fence MG - Metal Gate MRS - Metal Roof Sheeting PER - Pergola Shade Structure PFC - Steel Channel RC - Concrete Finish RD - Perforated Metal Panel Door RWT - Rainwater Tank SCR-01 - Perforated Screen SCR-02 - Acoustic Metal Screen SK - Skylight	PROJECT	DRAWING TITLE		
	A	6/12/2022	Issue for Coordination		Foster House	Proposed Signage		
B	13/12/2022	ISSUE FOR DEVELOPMENT APPLICATION	5-19 Mary St, Surry Hills NSW 2010	JOB NO	DRAWN	SCALE	DRAWING NO.	
				22.19	AR/JK	1:100	5.002	
				DATE	CHECKED	PLOT DATE	REVISION	
				23/5/22	PT		B	